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SCOPE OF WORK

NEW CONSTRUCTION: 5 BEDROOM, 5 1/2 BATH 5,965 SQ. FT HOUSE INCLUDING THE GARAGE PER WESTON ZONING BY- LAWS (NOT INCLUDING BASEMENT)

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.  
2. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.  
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY ARCHITECT/ OWNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL EXISTING DIMENSIONS ARE TO THE FACE OF FINISHED SURFACE UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS.  
4. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS.  
5. FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL" SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AN OPERATION INSTALLATION, UNLESS OTHERWISE NOTED.  
6. ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE BLACK ANCHOR DESIGNATED REPRESENTATIVE.

APPLICABLE CODES

BUILDING CODE: 2015 IRC WITH 780 CMR NINTH EDITION MASSACHUSETTS AMENDMENTS

ENERGY CODE: BBRS STRETCH CODE

THE RENDERINGS ARE FOR VISUALIZATION PURPOSES ONLY - MAY DIFFER SLIGHTLY FROM ACTUAL



PROPOSED FRONT RENDERING



PROPOSED REAR RENDERING

PROPOSED SITE: WESTON, MA 02493

STRUCTURAL ENGINEER



Assumptions & Design Criteria  
To be applied as needed on a member by member basis

1. Building Design Code Reference  
a. Massachusetts Building Code - 9th Edition + Amendments
2. Building Design Loads Used  
a. Dead Loads  
i. Roof Framing - 20 psf  
ii. Attic Framing - 18 psf  
iii. Floor Framing - 15 psf  
iv. Wall Framing - 15 psf  
b. Live Loads (Mass Bldg Code 9th Edition)  
i. Attic Loading - 20 psf  
ii. Minimum, no storage - 10 psf  
iii. Rafter loading (Pd) - 40 psf  
iv. Minimum (FD) - 35 psf
3. Design Criteria Used  
a. Deflection  
i. Total Load Deflection - L/360  
ii. Live Load Deflection - L/480 or L/360 as noted
4. Specified Materials  
a. Misc. Members and Posts (if specified)  
i. Sawn Lumber: Spruce Pine Fir #1/2  
ii. Steel Beams: A992-50 ksi Steel  
iii. Engineered Lumber: VersaLam or Equal  
iv. Support Posts: As Noted

CONTRACTOR/MGT CO.

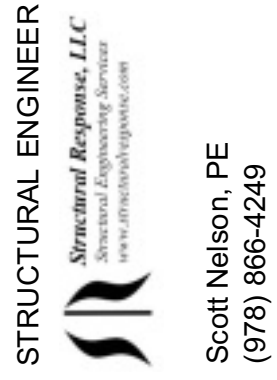
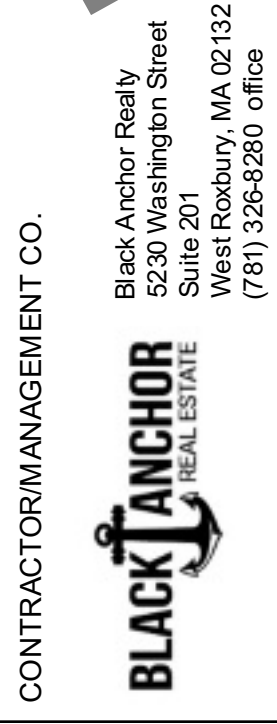


ARCHITECTURE FIRM:



SITE ENGINEER

JC Engineering, Inc.  
2854 Cranberry Highway  
East Wareham, MA 02538  
PH: 508-273-0377



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REV. DATE:  
8/19/2020

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GENERAL NOTES/CODE REQUIREMENTS PER THE IRC 2015  
AND THE MSBC AMENDMENTS 2015 AND IECC 2015

SECTION R302 - FIRE-RESISTANT CONSTRUCTION

R302.1 Exterior walls.  
Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1).

SECTION R303 - LIGHT, VENTILATION AND HEATING

R303.1 Habitable rooms.  
Habitable rooms shall have an aggregate glazing area of not less than 8 percent of the floor area of such rooms. Natural ventilation shall be through windows, skylights, doors, louvers or other approved openings to the outdoor air. Such openings shall be provided with ready access or shall otherwise be readily controllable by the building occupants. The openable area to the outdoors shall be not less than 4 percent of the floor area being ventilated.

R303.3 Bathrooms.  
Mechanical ventilation in accordance with section M1507 is required for all bathrooms with a shower or bathtub and rooms with a toilet.

R303.6 Stairway illumination.  
Air exhaust and intake openings that terminate outdoors shall be protected with corrosion-resistant screens, louvers or grilles having an opening size of not less than 1/4 inch (6 mm) and a maximum opening size of 1/2 inch (13 mm), in any dimension. Openings shall be protected against local weather conditions. Outdoor air exhaust and intake openings shall meet the provisions for exterior wall opening protectives in accordance with this code.

R304.3 Minimum dimensions.  
Habitable rooms shall not be less than 7 feet (2134 mm) in any horizontal dimension.

R305.1 Minimum height.  
Habitable space and hallways shall have a ceiling height of not less than seven feet (2,134 mm). Bathrooms, toilet rooms, laundry rooms and habitable space in basements shall have a ceiling height of not less than six feet, eight inches (2,032 mm).

SECTION R307 - TOILET, BATH AND SHOWER SPACES

R307.1 Space required.  
Fixtures shall be spaced in accordance with Figure R307.1, and in accordance with the requirements of Section P2705.1.

SECTION R310 - EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Basements, habitable attics and every sleeping room shall have not less than one operable emergency escape and rescue opening.  
Where basements contain one or more sleeping rooms, an emergency escape and rescue opening shall be required in each sleeping room.  
Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

R310.1.1 Minimum opening area.  
Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge. Window opening control devices complying with ASTM F 2090 shall be permitted for use on windows serving as a required emergency escape and rescue opening.

R310.2.1 Minimum Opening Area. Emergency and escape rescue openings shall have a net clear opening of not less than 5.7 ft2 (0.530 m2 ). The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height opening shall be not less than 24 inches (610 mm) and the net clear width shall be not less than 20 inches (508 mm).

R311.1 Means of Egress. Dwelling units shall be provided with a primary and secondary means of egress in accordance with this section. Each means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the dwelling to the egress doors. The primary means of egress shall not require travel through a garage but the secondary means of egress may. The required egress doors shall open directly into a public way or to a yard or court that opens to a public way.  
NOTES:  
In multi-level dwellings, including but not limited to townhouses, split-level and raised ranch style layouts, the two separate egress doors may be located on different levels.  
Where site topography prevents direct access at two remote locations to grade from the normal level of entry, the two separate egress doors may be located on different levels.

R311.2 Egress Door. A primary and secondary egress door shall be provided for each dwelling unit and shall be as remote as possible from each other. The primary egress door shall be side-hinged, and shall provide a clear width of not less than 32 inches (813 mm) where measured between the face of the door and the stop, with the door open 90° (1.57 rad). The secondary egress door shall be side-hinged or sliding, and shall provide a clear width of not less than 28 inches (711 mm) where measured between the face of the door and the stop, with the door open 90° (1.57 rad). The clear height of side-hinged door openings shall be not less than 78 inches (1,981 mm) in height measured from the top of the threshold to the bottom of the stop. Sliding door clear width may be slightly less than 28 inches (711 mm) to conform to industry fabrication standards. Other doors shall not be required to comply with these minimum dimensions. Egress doors shall be capable of being readily opened from inside the dwelling without the use of a key or special knowledge or effort.

SECTION R401 - GENERAL

R401.1 Application.  
The provisions of this chapter shall control the design and construction of the foundation and foundation spaces for buildings. In addition to the provisions of this chapter, the design and construction of foundations in flood hazard areas as established by Table R301.2(1) shall meet the provisions of Section R322. Wood foundations shall be designed and installed in accordance with AWC PWF.  
Exception: The provisions of this chapter shall be permitted to be used for wood foundations only in the following situations:  
In buildings that have no more than two floors and a roof.  
Where interior basement and foundation walls are constructed at intervals not exceeding 50 feet (15 240 mm).

R401.3 Drainage.  
Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches (152 mm) within the first ten feet (3,048 mm). Temporary and finished grading shall not direct nor create flooding or damage to adjacent property during or after completion of construction.

R404.1 Concrete and masonry foundation walls.  
Concrete foundation walls shall be selected and constructed in accordance with the provisions of Section R404.1.3. Masonry foundation walls shall be selected and constructed in accordance with the provisions of Section R404.1.2.

R405.1 Concrete or masonry foundations.  
Drains shall be provided around concrete or masonry foundations that retain earth and enclose habitable or usable spaces located below grade. Drainage tiles, gravel or crushed stone drains, perforated pipe or other approved systems or materials shall be installed at or below the area to be protected and shall discharge by gravity or mechanical means into an approved drainage system. Gravel or crushed stone drains shall extend not less than 1 foot (305 mm) beyond the outside edge of the footing and 6 inches (152 mm) above the top of the footing and be covered with an approved filter membrane material. The top of open joints of drain tiles shall be protected with strips of building paper. Except where otherwise recommended by the drain manufacturer, perforated drains shall be surrounded with an approved filter membrane or the filter membrane shall cover the washed gravel or crushed rock covering the drain. Drainage tiles or perforated pipe shall be placed on a minimum of 2 inches (51 mm) of washed gravel or crushed rock not less than one sieve size larger than the tile joint opening or perforation and covered with not less than 6 inches (152 mm) of the same material.

R406.1 Concrete and masonry foundation dampproofing.  
Except where required by Section R406.2 to be waterproofed, foundation walls that retain earth and enclose interior spaces and floors below grade shall be dampproofed from the higher of (a) the top of the footing or (b) 6 inches (152 mm) below the top of the basement floor, to the finished grade. Masonry walls shall have not less than 3/8 inch (9.5 mm) portland cement parging applied to the exterior of the wall. The parging shall be dampproofed in accordance with one of the following:  
Bituminous coating.  
Three pounds per square yard (1.63 kg/m2) of acrylic modified cement.  
One-eighth-inch (3.2 mm) coat of surface-bonding cement complying with ASTM C 887.  
Any material permitted for waterproofing in Section R406.2.  
Other approved methods or materials

SECTION R502 - WOOD FLOOR FRAMING

R502.1 General  
Wood and wood-based products used for load-supporting purposes shall conform to the applicable provisions of this section.

R502.1.1 Sawn Lumber  
Sawn lumber shall be identified by a grade mark of an accredited lumber grading or inspection agency and have design values certified by an accreditation body that complies with DOC PS 20. In lieu of a grade mark, a certificate of inspection issued by a lumber grading or inspection agency meeting the requirements of this section shall be accepted.

R502.1.1.1 Preservative-treated lumber.  
Preservative treated dimension lumber shall also be identified as required by Section R317.2.

R502.1.1.2 End-jointed lumber.  
Approved end-jointed lumber identified by a grade mark conforming to Section R502.1.1 shall be permitted to be used interchangeably with solid-sawn members of the same species and grade. End-jointed lumber used in an assembly required elsewhere in this code to have a fire-resistance rating shall have the designation "Heat Resistant Adhesive" or "HRA" included in its grade mark.

R502.1.2 Prefabricated wood I-joists.  
Structural capacities and design provisions for prefabricated wood I-joists shall be established and monitored in accordance with ASTM D5055.

R502.1.3 Structural glued laminated timbers.  
Glued laminated timbers shall be manufactured and identified as required in ANSI/AITC A190.1 and ASTM D 3737.

R502.2.2 Blocking and subflooring.  
Blocking for fastening panel edges or fixtures shall be a minimum of utility grade lumber. Subflooring shall be a minimum of utility grade lumber, No. 4 common grade boards or wood structural panels as specified in Section R503.2. Fireblocking shall be of any grade lumber.

R502.8 Cutting, Drilling and notching.  
Structural floor members shall not be cut, bored or notched in excess of the limitations specified in this section. See Figure R502.8.

R502.12 Draftstopping required.  
Draftstopping shall be provided in accordance with Section R302.12.

R502.13 Fireblocking required.  
Fireblocking shall be provided in accordance with Section R302.11.

SECTION R503 - FLOOR SHEATHING

R503.1 Lumber sheathing.  
Maximum allowable spans for lumber used as floor sheathing shall conform to Tables R503.1, R503.2.1.1(1) and R503.2.1.1(2).

SECTION R506 - CONCRETE FLOORS (ON GROUND)

R506.1 General.  
Concrete slab-on-ground floors shall be designed and constructed in accordance with the provisions of this section or ACI 332. Floors shall be a minimum 31/2 inches (89 mm) thick (for expansive soils, see Section R403.1.8). The specified compressive strength of concrete shall be as set forth in Section R402.2.

R506.1.1 Control Joints. Slabs shall be constructed with control joints having a depth of at least one quarter of the slab thickness but not less than one inch (25 mm). Joints shall be spaced at intervals not greater than 30 feet (9,144 mm) in each direction. Control joints shall be placed at locations where the slab width or length changes. See Exception per code

R506.2 Site preparation.  
The area within the foundation walls shall have all vegetation, top soil and foreign material removed.

R506.2.1 Fill.  
Fill material shall be free of vegetation and foreign material. The fill shall be compacted to ensure uniform support of the slab and except where approved, the fill depths shall not exceed 24 inches (610 mm) for clean sand or gravel and 8 inches (203 mm) for earth.

R506.2.2 Base.  
A 4-inch-thick (102 mm) base course consisting of clean graded sand, gravel, crushed stone, crushed concrete or crushed blast-furnace slag passing a 2-inch (51 mm) sieve shall be placed on the prepared sub-grade where the slab is below grade.  
Exception: A base course is not required where the concrete slab is installed on well-drained or sand-gravel mixture soils classified as Group I according to the United Soil Classification System in accordance with Table R405.1.

R506.2.3 Vapor retarder.  
A 6 mil (0.006 inch; 152 µm) polyethylene or approved vapor retarder with joints lapped not less than 6 inches (152 mm) shall be placed between the concrete floor slab and the base course or the prepared subgrade where no base course exists.

SECTION R609 - EXTERIOR WINDOWS AND DOORS

R609.1 General.  
This section prescribes performance and construction requirements for exterior windows and doors installed in walls. Windows and doors shall be installed and flashed in accordance with the fenestration manufacturer's written instructions. Window and door openings shall be flashed in accordance with Section R703.4. Written installation instructions shall be provided by the fenestration manufacturer for each window or door.

SECTION R807 - ATTIC ACCESS

R807.1 Attic access applies  
Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that have a vertical height of 30 inches (762 mm) or greater over an area of not less than 30 square feet (2.8 m2). The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members.  
The rough-framed opening shall be not less than 22 inches by 30 inches (559 mm by 762 mm) and shall be located in a hallway or other readily accessible location. Where located in a wall, the opening shall be not less than 22 inches wide by 30 inches high (559 mm wide by 762 mm high). Where the access is located in a ceiling, minimum unobstructed headroom in the attic space shall be 30 inches (762 mm) at some point above the access measured vertically from the bottom of ceiling framing members. See Section M1305.1.3 for access requirements where mechanical equipment is located in attics.

N1102.4 (R402.4) - AIR LEAKAGE (Mandatory)

The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of Sections N1102.4.1 through N1102.4.5.

N1102.4.1 (R402.4.1) Building thermal envelope.  
The building thermal envelope shall comply with Sections N1102.4.1.1 and N1102.4.1.2. The sealing methods between dissimilar materials shall allow for differential expansion and contraction.

N1102.4.1.1 Installation  
The components of the building thermal envelope as listed in Table N1102.4.1.1 shall be installed in accordance with the manufacturer's instructions and the criteria listed in Table N1102.4.1.1, as applicable to the method of construction. Where required by the building official, an approved third party shall inspect all components and verify compliance.

N1102.4.3 (R402.4.3) Fenestration air leakage.  
Windows, skylights and sliding glass doors shall have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m2), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m2), when tested according to NFRC 400 or AAMA/WDMA/CSA 1011.5.2/A440 by an accredited, independent laboratory and listed and labeled by the manufacturer.

N1102.4.5 (R402.4.5) Recessed lighting.  
Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm (0.944 L/s) when tested in accordance with ASTM E 283 at a 1.57 psf (75 Pa) pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

SECTION N1103 (R403) - SYSTEMS

N1103.1 Controls (Mandatory).  
At least one thermostat shall be installed for each separate heating and cooling system.

N1103.1.1 Programmable thermostat.  
The thermostat controlling the primary heating or cooling system of the dwelling unit shall be capable of controlling the heating and cooling system on a daily schedule to maintain different temperature set points at different times of the day. This thermostat shall include the capability to set back or temporarily operate the system to maintain zone temperatures down to 55°F (13°C) or up to 85°F (29°C). The thermostat shall initially be programmed by the manufacturer with a heating temperature set point no higher than 70°F (21°C) and a cooling temperature set point no lower than 78°F (26°C).

N1103.1.2 Heat pump supplementary heat (Mandatory).  
Heat pumps having supplementary electric-resistance heat shall have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load.

N1103.3 (R403.3) Ducts.  
Ducts and air handlers shall be in accordance with Sections N1103.3.1 through N1103.3.5.

N1103.3.1 (R403.3.1) Insulation (Prescriptive).  
Supply and return ducts in attics shall be insulated to a minimum of R-8 where 3 inches (76.2 mm) in diameter and greater and R-6 where less than 3 inches (76.2 mm) in diameter. Supply and return ducts in other portions of the building shall be insulated to a minimum of R-6 where 3 inches (76.2 mm) in diameter or greater and R-4.2 where less than 3 inches (76.2 mm) in diameter.  
Exception: Ducts or portions thereof located completely inside the building thermal envelope.

N1103.2.2 (R403.3.2) Sealing (Mandatory).  
Ducts, air handlers, filter boxes and building cavities used as ducts shall be sealed. Joints and seams shall comply with either the International Mechanical Code or Section M1601.4.1 of this code, as applicable.

N1103.3.5 (R403.3.5) Building cavities (Mandatory).  
Building framing cavities shall not be used as ducts or plenums.

N1103.4 Mechanical system piping insulation (Mandatory).  
Mechanical system piping capable of carrying fluids above 105°F (40°C) or below 55°F (13°C) shall be insulated to a minimum of R-3.

N1103.5(R403.5) Service hot water systems.  
Energy conservation measures for service hot water systems shall be in accordance with Sections N1103.5.1 through N1103.5.4.

N1103.6 (R403.6) Mechanical ventilation (Mandatory).  
Each dwelling unit of a residential building shall be provided with continuously operating exhaust, supply or balanced mechanical ventilation that has been site verified to meet a minimum airflow per: 1. Energy Star Homes' Version 3.1; 2. ASHRAE 62.2-2013; or 3. the following formula for one- and two-family dwellings and townhouses of three or less stories above grade plane: see MA code for formulas and additions

N1103.7 (R403.7) Equipment sizing and efficiency rating (Mandatory).  
Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on building loads calculated in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies. New or replacement heating and cooling equipment shall have an efficiency rating equal to or greater than the minimum required by federal law for the geographic location where the equipment is installed.

ARCHITECTURE FIRM  
GMT  
HOME DESIGNS  
Architects & Designers  
GMT Home Designs, Inc.  
60 Pleasant Street  
Suite 10 C  
Ashland, MA 01721  
(508) 881-7992  
gmthomedesigns.com

CONTRACTOR/MANAGEMENT CO.  
BLACK ANCHOR  
REAL ESTATE  
Black Anchor Realty  
5230 Washington Street  
Suite 201  
West Roxbury, MA 02132  
(781) 326-6280 office

STRUCTURAL ENGINEER  
Structural Engineers, LLC  
1000 Washington Street  
Suite 201  
West Roxbury, MA 02132  
(781) 326-6280 office  
Scott Nelson, PE  
(978) 866-4249

SEAL

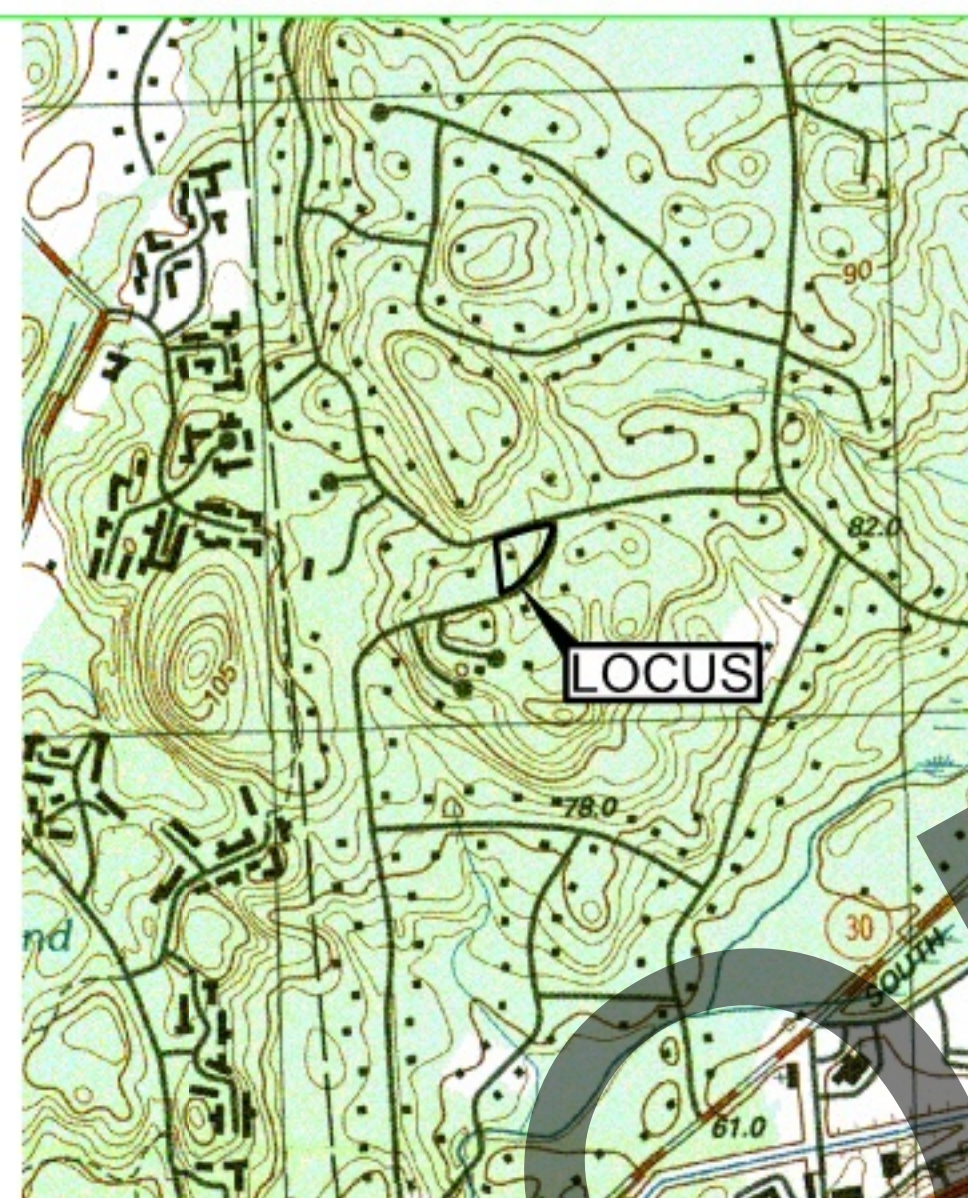
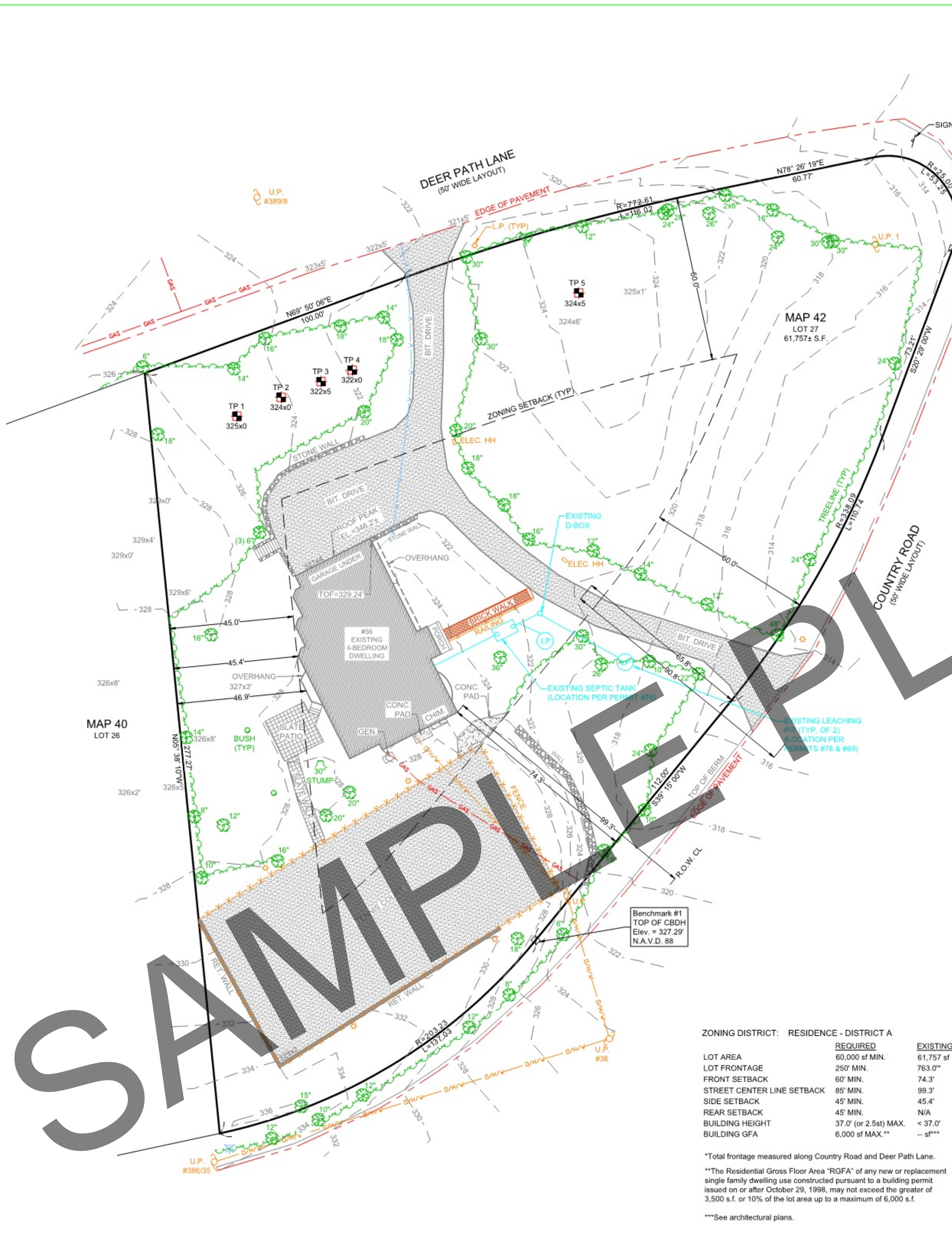
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GENERAL NOTES

CLIENT AND PROJECT ADDRESS:

REV. DATE:  
8/19/2020

SHEET:  
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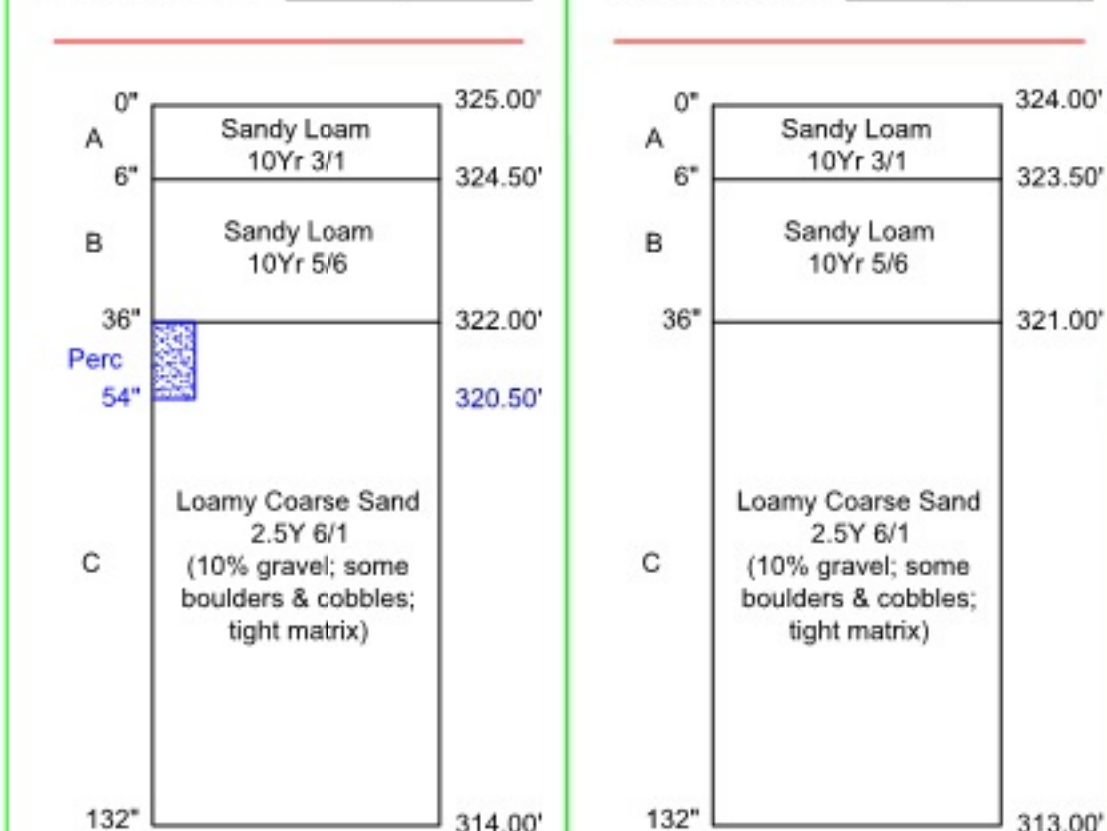




LOCUS PLAN  
SCALE: 1" = 100'

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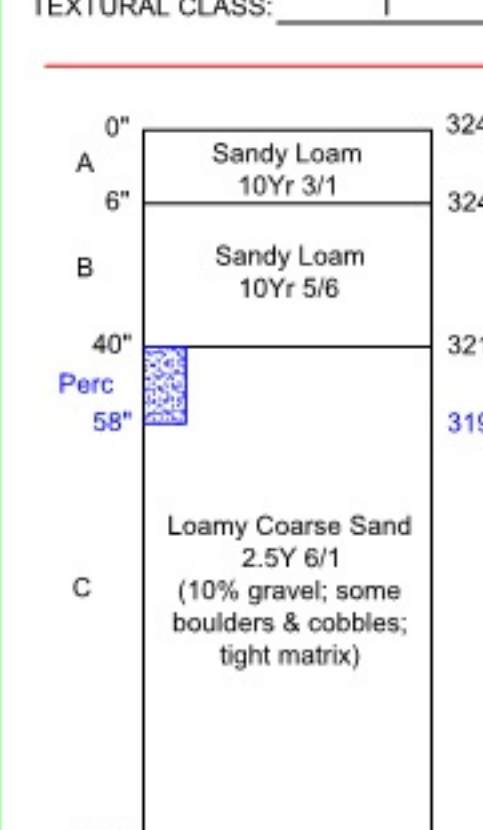
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| EVALUATOR: <u>Michael Pimentel</u>      | EVALUATOR: <u>Michael Pimentel</u>      |
| C.S.E. APPROVAL DATE: <u>10-27-99</u>   | C.S.E. APPROVAL DATE: <u>10-27-99</u>   |
| DATE: <u>May 28, 2020</u>               | DATE: <u>May 28, 2020</u>               |
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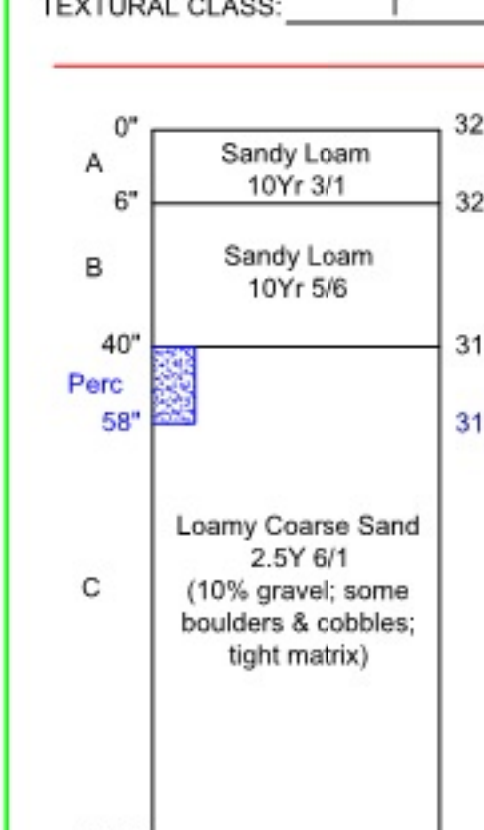
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| EVALUATOR: <u>Michael Pimentel</u>               | EVALUATOR: <u>Michael Pimentel</u>      |
| C.S.E. APPROVAL DATE: <u>10-27-99</u>            | C.S.E. APPROVAL DATE: <u>10-27-99</u>   |
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| PERC RATE = <u>7 min./inch</u>                   | PERC RATE = <u>7 min./inch</u>          |
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No standing, weeping, or mottling observed.

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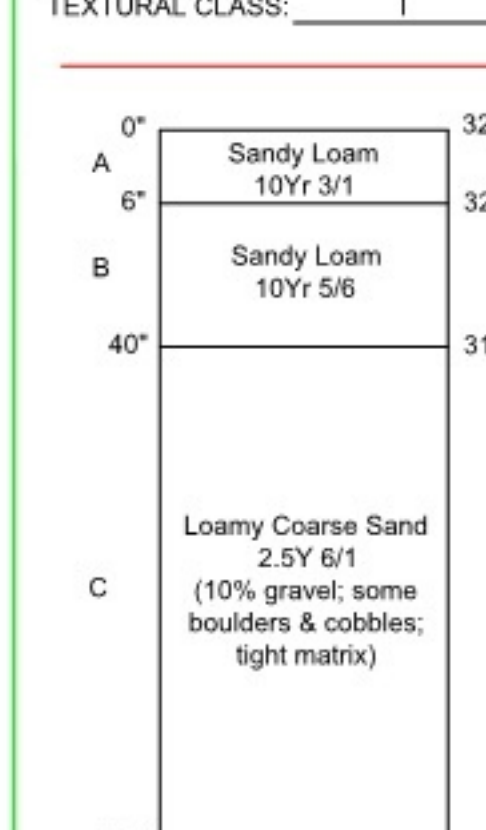
|   |   |
|---|---|
| INSPECTOR: <u>Wedny Diotalevi (BOH)</u> | INSPECTOR: <u>Wedny Diotalevi (BOH)</u> |
| EVALUATOR: <u>Michael Pimentel</u>      | EVALUATOR: <u>Michael Pimentel</u>      |
| C.S.E. APPROVAL DATE: <u>10-27-99</u>   | C.S.E. APPROVAL DATE: <u>10-27-99</u>   |
| DATE: <u>May 28, 2020</u>               | DATE: <u>May 28, 2020</u>               |
| TEST PIT #: <u>3</u>                    | TEST PIT #: <u>4</u>                    |
| ELEV TOP = <u>322.50'</u>               | ELEV TOP = <u>322.00'</u>               |
| ELEV WATER = <u>&lt;311.50'</u>         | ELEV WATER = <u>&lt;311.00'</u>         |
| PERC RATE = <u>7 min./inch</u>          | PERC RATE = <u></u>                     |
| DEPTH OF PERC = <u>40" - 58"</u>        | DEPTH OF PERC = <u></u>                 |
| TEXTURAL CLASS: <u>I</u>                | TEXTURAL CLASS: <u>I</u>                |



No standing, weeping, or mottling observed.

TEST PIT DATA

|   |   |
|---|---|
| INSPECTOR: <u>Wedny Diotalevi (BOH)</u> | INSPECTOR: <u>Wedny Diotalevi (BOH)</u> |
| EVALUATOR: <u>Michael Pimentel</u>      | EVALUATOR: <u>Michael Pimentel</u>      |
| C.S.E. APPROVAL DATE: <u>10-27-99</u>   | C.S.E. APPROVAL DATE: <u>10-27-99</u>   |
| DATE: <u>May 28, 2020</u>               | DATE: <u>May 28, 2020</u>               |
| TEST PIT #: <u>4</u>                    | TEST PIT #: <u>5</u>                    |
| ELEV TOP = <u>322.00'</u>               | ELEV TOP = <u>321.50'</u>               |
| ELEV WATER = <u>&lt;311.00'</u>         | ELEV WATER = <u>&lt;310.50'</u>         |
| PERC RATE = <u></u>                     | PERC RATE = <u></u>                     |
| DEPTH OF PERC = <u></u>                 | DEPTH OF PERC = <u></u>                 |
| TEXTURAL CLASS: <u>I</u>                | TEXTURAL CLASS: <u>I</u>                |



No standing, weeping, or mottling observed.

GENERAL NOTES

- UNLESS OTHERWISE NOTED, ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH TITLE 5 OF THE STATE ENVIRONMENTAL CODE AND ANY APPLICABLE LOCAL RULES.
- ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE BOARD OF HEALTH AND THE DESIGN ENGINEER.
- 4" SCHEDULE 40 PVC PIPE WITH WATER TIGHT JOINTS SHALL BE USED IN DISPOSAL SYSTEM UNLESS OTHERWISE NOTED.
- TO PREVENT BREAKOUT, THE PROPOSED FINISHED GRADE SHALL NOT BE LESS THAN THE ELEVATION SHOWN ON THE CHAMBER DETAIL CROSS SECTION ON SHEET 3 OF 3 FOR A DISTANCE OF 15' AROUND THE PERIMETER OF THE SAS, UNLESS A 40 MIL GEOMEMBRANE LINER IS PLACED AT LEAST FIVE FEET FROM S.A.S. AND THE TOP OF THE LINER IS NOT LESS THAN THE BREAKOUT ELEVATION.
- SLOPE ALL SOLID PIPE AT 1.0% MINIMUM.
- THIS SYSTEM IS NOT DESIGNED FOR A GARBAGE DISPOSAL.
- LOCAL BOARD OF HEALTH AND DESIGN ENGINEER TO BE NOTIFIED PRIOR TO BACK FILLING WHEN SYSTEM IS NEARLY COMPLETE AND READY FOR INSPECTION. SYSTEM IS NOT TO BE BACK FILLED WITHOUT FIRST OBTAINING APPROVAL FROM BOARD OF HEALTH AND DESIGN ENGINEER.
- ELEVATIONS BASED ON N.A.V.D. 88 DATUM. BENCHMARK #1 ELEVATION OF 327.29' ESTABLISHED ON TOP OF CONCRETE BOUND AS SHOWN ON PLAN AND BENCHMARK #2 ELEVATION OF 313.37' ESTABLISHED ON TOP OF CONCRETE BOUND AS SHOWN ON PLAN.
- LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION THROUGH DIG-SAFE AT LEAST 72 HOURS PRIOR TO COMMENCING WORK ON SITE AT 1-888-DIG-SAFE ANY OTHER APPLICABLE AGENCIES. REPORT ANY DISCREPANCIES TO DESIGN ENGINEER.
- ALL JOINTS WHERE PIPE ENTERS AND EXITS CONC. STRUCTURES SHALL BE MADE WATERTIGHT.
- NO DETERMINATION HAS BEEN MADE AS TO COMPLIANCE WITH DEEDED OR ZONING REGULATIONS. OWNER/APPLICANT IS TO OBTAIN SUCH DETERMINATION FROM APPROPRIATE AUTHORITY.
- ALL SEPTIC SYSTEM COMPONENTS SHALL WITHSTAND H-10 LOADING UNLESS LOCATED UNDER MORE THAN 3 FEET OF COVER OR LOCATED UNDER PAVEMENT, DRIVES, OR TRAVELED WAYS IN WHICH CASE THEY SHALL WITHSTAND H-20 LOADING.
- DOUBLE WASHED CRUSHED STONE SHALL BE FREE OF ALL DIRT, DUST AND FINES.
- WHERE REQUIRED, CONTRACTOR SHALL REMOVE ALL LOAM, SUBSOIL AND UNSUITABLE MATERIAL IN AREA BENEATH AND FOR 5 FT. ON ALL SIDES OF LEACHING FACILITY. REPLACE ALL UNSUITABLE MATERIAL WITH CLEAN COARSE SAND FREE FROM CLAY, FINES OR OTHER UNSUITABLE MATERIAL IN ACCORDANCE WITH 310 CMR 15.255(3).
- CONTRACTOR SHALL NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES FOUND IN SITE CONDITIONS FROM THOSE SHOWN PRIOR TO CONTINUATION OF WORK.
- PROPOSED PROJECT IS LOCATED WITHIN:  
ASSESSOR'S MAP 42, LOT 27  
OWNER OF RECORD: BA 56 DEER PATH LANE, LLC  
ADDRESS: 5230 WASHINGTON STREET, SUITE 201  
WEST ROXBURY, MA 02132  
FEMA FLOOD ZONE X  
COMMUNITY PANEL # 25017C0529F
- DEED REFERENCE: LAND COURT CERTIFICATE #272393
- PLAN REFERENCE: LAND COURT PLAN #12045J
- A 4" PERFORATED SCH. 40 PVC PIPE SHALL BE PLACED IN A VERTICAL POSITION TO A DEPTH OF THE BOTTOM OF THE SAS AND EXTEND TO WITHIN 3" OF FINISH GRADE. A REMOVABLE THREADED CAP SHALL BE PLACED ON THE TOP TO ALLOW FOR INSPECTIONS.
- OWNER / APPLICANT / CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY AND ALL REQUIRED PERMITS AND APPROVALS FOR THIS PROJECT.
- CONTRACTOR TO INSTALL ALL UTILITIES (WHETHER OR NOT SHOWN ON SHEET 2 OF 3) TO THE NEW DWELLING PER THE TOWN OF WESTON REGULATIONS.

LEGEND

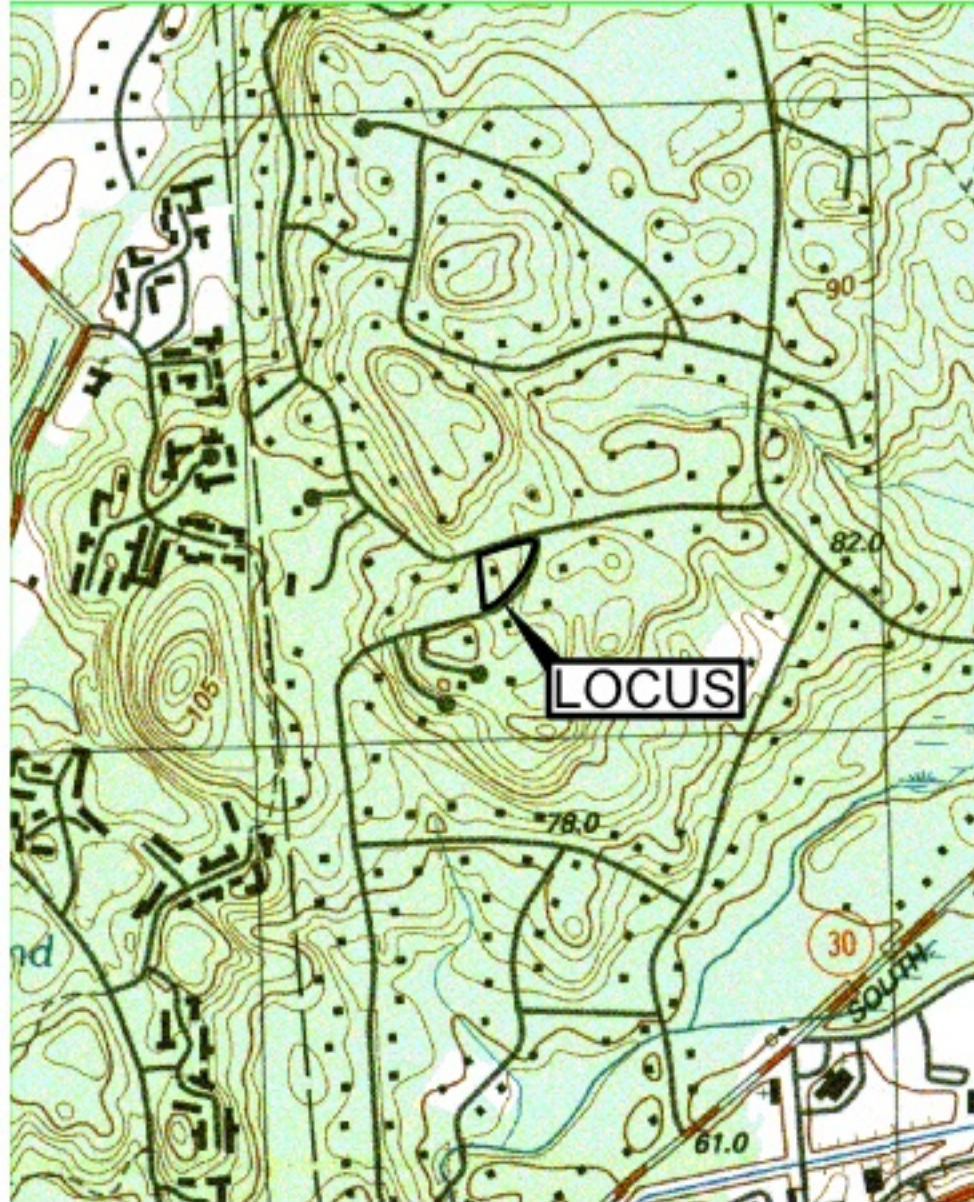
- 50x0
- 50
- EXISTING SPOT GRADE
- EXISTING CONTOUR
- EXISTING WATER LINE
- EXISTING OVERHEAD WIRES
- EXISTING GAS LINE
- TEST PIT LOCATION

NOTES:

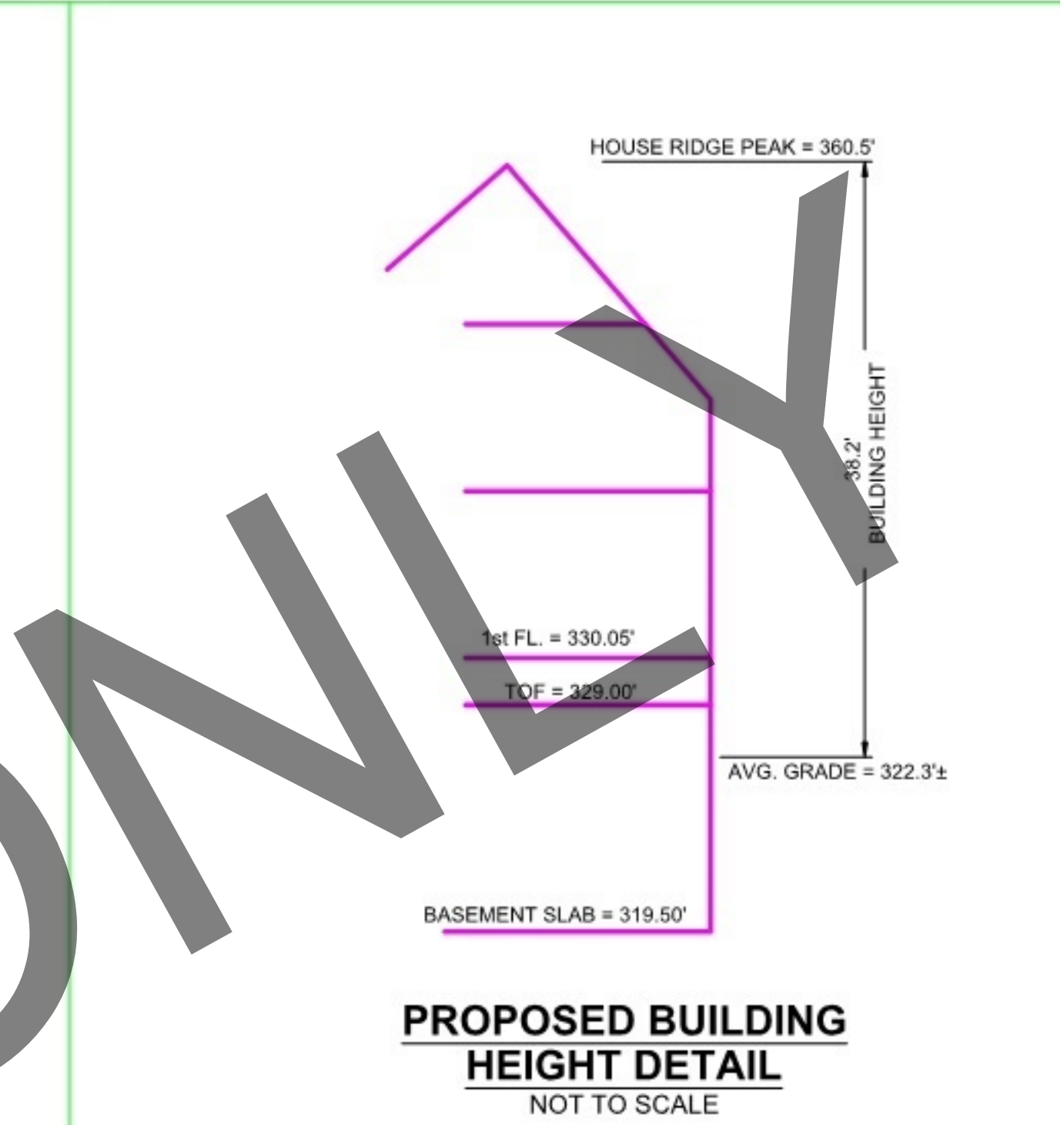
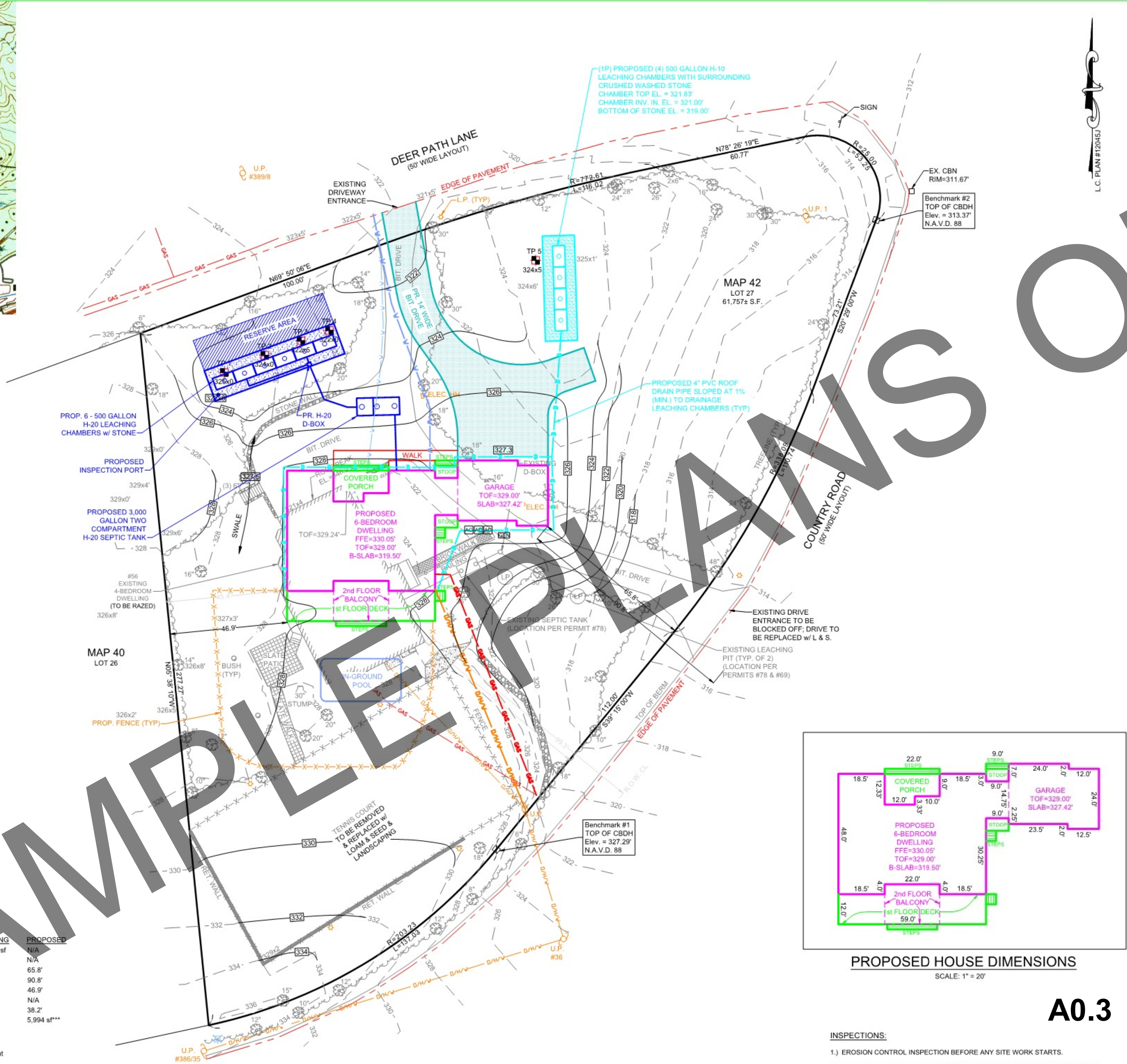
- MAGNETIC MARKING TAPE SHALL BE PLACED ALONG THE TOP EDGE OF EACH SEPTIC SYSTEM COMPONENT.
- CONTRACTOR SHALL VERIFY SOIL CONDITIONS IN THE LOCATION OF THE PROPOSED LEACHING SYSTEM TO ENSURE CONSISTENCY WITH TEST PIT DATA SHOWN ON THIS PLAN. REPORT TO ENGINEER AND LOCAL BOARD OF HEALTH IF SOILS ARE NOT CONSISTENT WITH TEST PIT DATA.
- ENTIRE PROPERTY IS LOCATED OUTSIDE THE LIMITS OF A DEP APPROVED ZONE II.
- DEER PATH LANE IS NOT CLASSIFIED AS A SCENIC ROAD PER THE TOWN OF WESTON SCENIC ROADS MAP 2010.
- ALL DISTURBED AREAS WILL BE STABILIZED WITH LOAM & SEED, LANDSCAPING, VEGETATION, OR OTHER STABILIZATION METHODS AT THE COMPLETION OF THIS PROJECT.
- DEER PATH LANE SHALL BE KEPT CLEAN OF ANY DIRT AND SEDIMENT THAT IS WASHED INTO THE STREET OR TRACKED FROM CONSTRUCTION VEHICLES AND WILL BE SWEEPED AS NEEDED AT THE END OF EACH DAY OF CONSTRUCTION.

|  |      |    |        |             |
|--|------|----|--------|-------------|
| REV.   | DATE | BY | APP'D. | DESCRIPTION |
| <b>SITE PLAN</b><br>(EXISTING CONDITIONS, TEST PITS & NOTE)<br>PREPARED FOR: <u>BA 56 DEER PATH LANE, LLC</u><br>LOCATED AT: <u>5230 WASHINGTON STREET, SUITE 201</u><br><u>WESTON, MA 02493</u><br>SCALE: 1 INCH = 20 FT. DATE: JUNE 19, 2020<br>PREPARED BY: <u>JC ENGINEERING, INC.</u><br><u>2854 CRANBERRY HIGHWAY</u><br><u>EAST WAREHAM, MA 02538</u><br><u>508.273.0377</u><br>Drawn By: ATB Designed By: MCP Checked By: JLC JOB No. 4871 |      |    |        |             |





LOCUS PLAN  
SCALE: 1" = 1000'



LEGEND

|           |  |
|-----------|--|
| 50x0      | EXISTING SPOT GRADE                              |
| 50        | EXISTING CONTOUR                                 |
| 50        | PROPOSED SPOT GRADE                              |
| 50        | PROPOSED CONTOUR                                 |
| D/H/W     | EXISTING OVERHEAD UTILITIES                      |
| W         | EXISTING WATER LINE                              |
| W         | PROPOSED WATER LINE                              |
| GAS       | EXISTING GAS LINE                                |
| GAS       | PROPOSED GAS LINE                                |
| 4" PVC    | PROPOSED 4" PVC ROOF DRAIN PIPE                  |
| D/H/W     | PROPOSED OVERHEAD UTILITIES                      |
| PIT       | TEST PIT LOCATION                                |
| 2000/1000 | PROPOSED 2000/1000 GALLON H-20 SEPTIC TANK       |
| 4" SCH 40 | PROPOSED 4" SOLID SCHEDULE 40 PVC PIPE           |
| H-20      | PROPOSED H-20 DISTRIBUTION BOX                   |
| 500 GAL   | PROPOSED 500 GALLON H-20 LEACHING CHAMBER        |
| 500 GAL   | PROPOSED 500 GAL. H-10 DRAINAGE LEACHING CHAMBER |

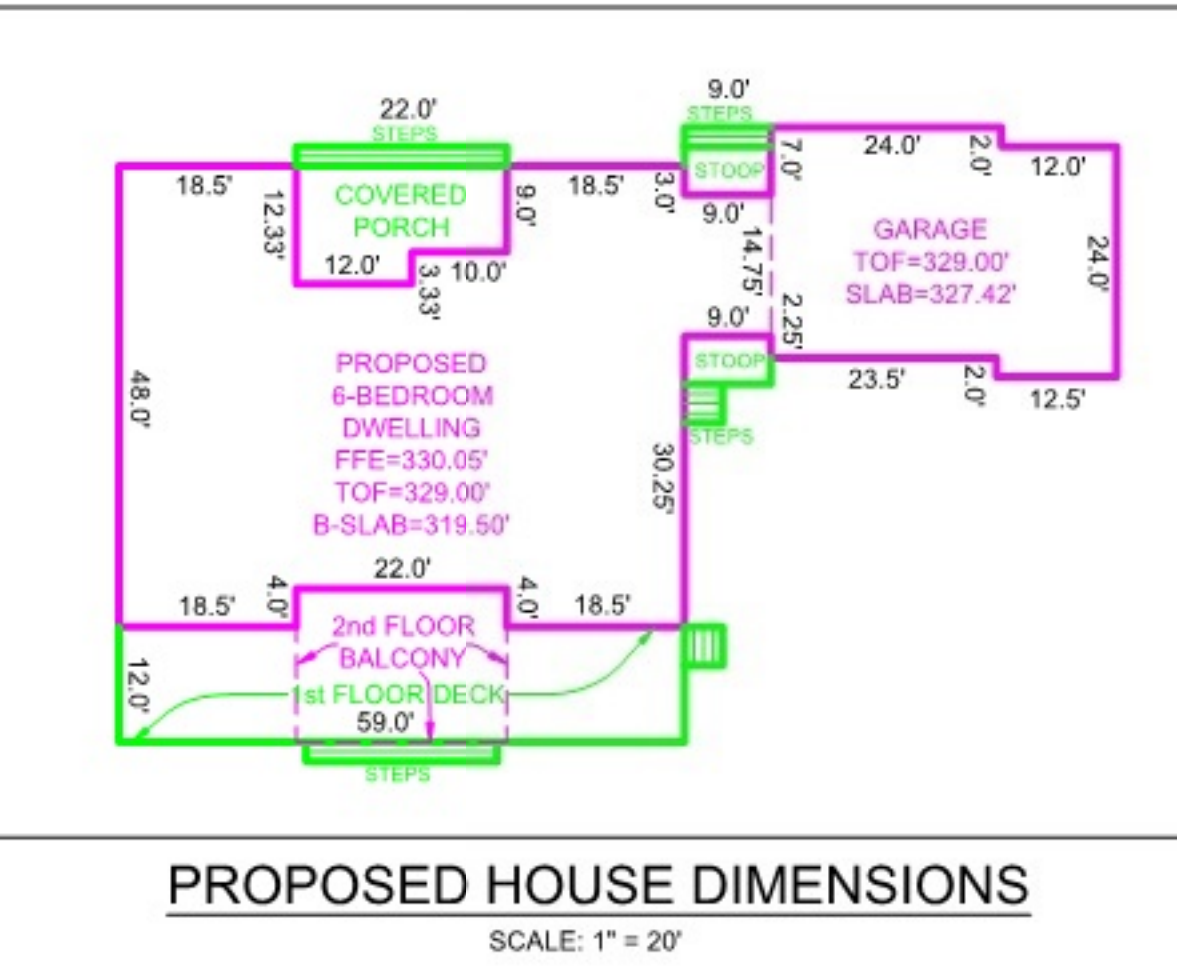
- NOTES:
- MAGNETIC MARKING TAPE SHALL BE PLACED ALONG THE TOP EDGE OF EACH SEPTIC SYSTEM COMPONENT.
  - CONTRACTOR SHALL VERIFY SOIL CONDITIONS IN THE LOCATION OF THE PROPOSED LEACHING SYSTEM TO ENSURE CONSISTENCY WITH TEST PIT DATA SHOWN ON THIS PLAN. REPORT TO ENGINEER AND LOCAL BOARD OF HEALTH IF SOILS ARE NOT CONSISTENT WITH TEST PIT DATA.
  - ENTIRE PROPERTY IS LOCATED OUTSIDE THE LIMITS OF A DEP APPROVED ZONE II.
  - DEER PATH LANE IS NOT CLASSIFIED AS A SCENIC ROAD PER THE TOWN OF WESTON SCENIC ROADS MAP 2010.
  - ALL DISTURBED AREAS WILL BE STABILIZED WITH LOAM & SEED, LANDSCAPING, VEGETATION, OR OTHER STABILIZATION METHODS AT THE COMPLETION OF THIS PROJECT.
  - DEER PATH LANE SHALL BE KEPT CLEAN OF ANY DIRT AND SEDIMENT THAT IS WASHED INTO THE STREET OR TRACKED FROM CONSTRUCTION VEHICLES AND WILL BE SWEEPED AS NEEDED AT THE END OF EACH DAY OF CONSTRUCTION.

| REV.  | DATE | BY | APP'D. | DESCRIPTION |
|---|------|----|--------|-------------|
| <b>SITE PLAN</b><br>(PROPOSED CONDITIONS - OVERALL SITE)<br>PREPARED FOR: BA 5<br>LOCATED AT: 2854 CRANBERRY HIGHWAY<br>WESTON, MA 02493<br>SHEET 2<br>SCALE: 1 INCH = 20 FT. DATE: JUNE 19, 2020<br>PREPARED BY: JC ENGINEERING, INC.<br>2854 CRANBERRY HIGHWAY<br>EAST WAREHAM, MA 02538<br>508.273.0377<br>Drawn By: MCP Designed By: MCP Checked By: JLC JOB No. 4871 |      |    |        |             |

ZONING DISTRICT: RESIDENCE - DISTRICT A

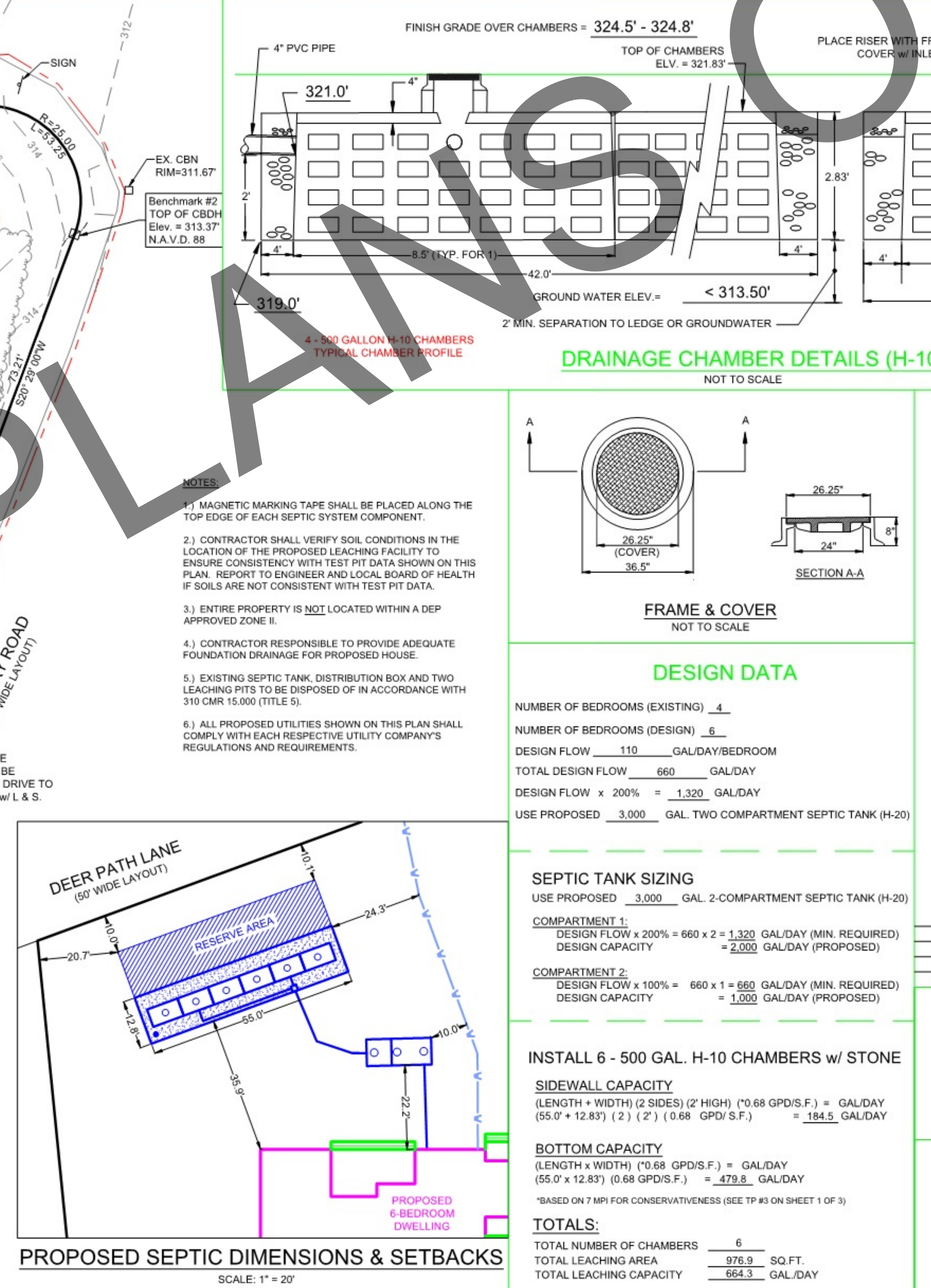
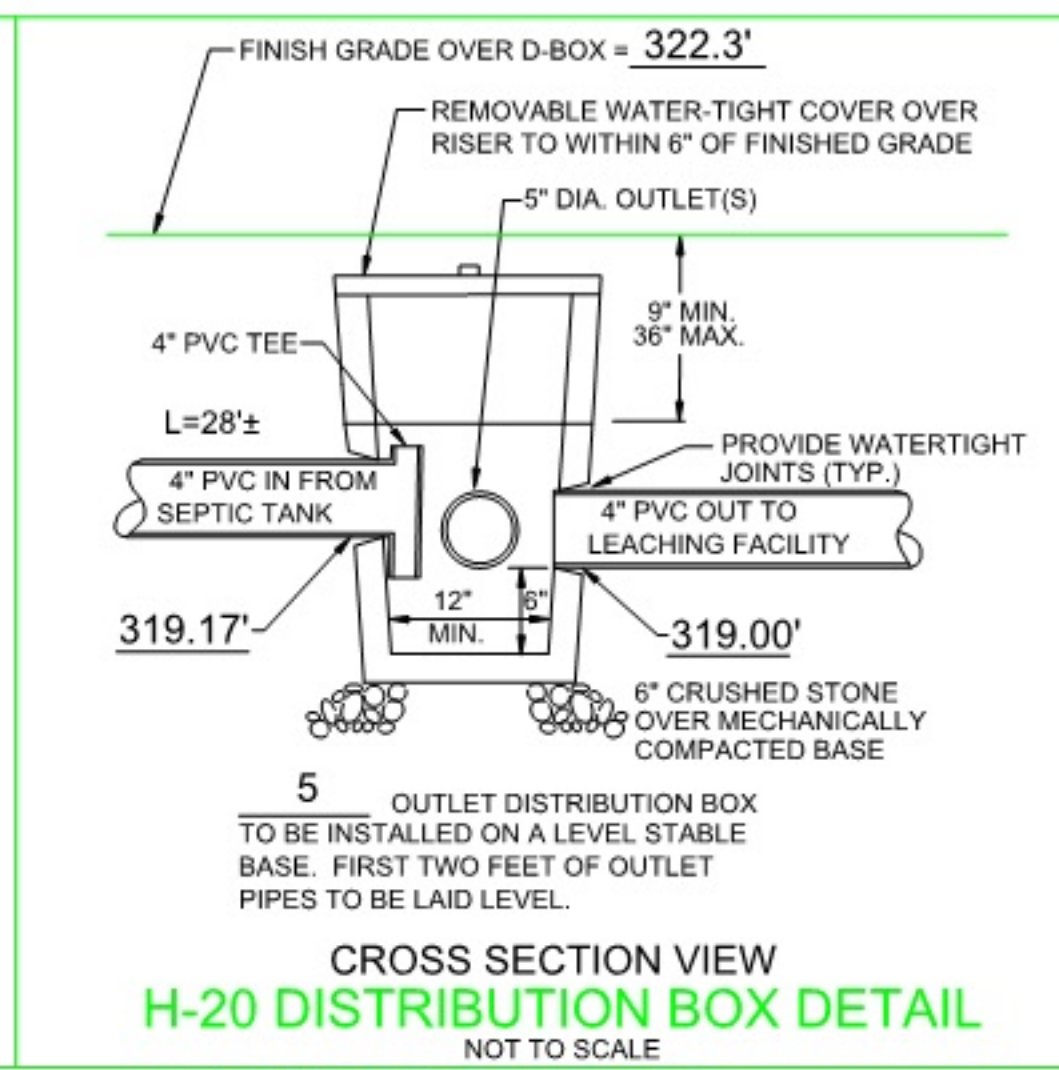
|                            | REQUIRED              | EXISTING  | PROPOSED    |
|----------------------------|-----------------------|-----------|-------------|
| LOT AREA                   | 60,000 sf MIN.        | 61,757 sf | N/A         |
| LOT FRONTAGE               | 250' MIN.             | 763.0'    | N/A         |
| FRONT SETBACK              | 60' MIN.              | 74.3'     | 65.8'       |
| STREET CENTER LINE SETBACK | 85' MIN.              | 99.3'     | 90.8'       |
| SIDE SETBACK               | 45' MIN.              | 45.4'     | 46.9'       |
| REAR SETBACK               | 45' MIN.              | N/A       | N/A         |
| BUILDING HEIGHT            | 37.0' (or 2.5st) MAX. | < 37.0'   | 38.2'       |
| BUILDING GFA               | 6,000 sf MAX.**       | -- sf***  | 5,994 sf*** |

\*Total frontage measured along Country Road and Deer Path Lane.  
\*\*The Residential Gross Floor Area "RGFA" of any new or replacement single family dwelling use constructed pursuant to a building permit issued on or after October 29, 1998, may not exceed the greater of 3,500 s.f. or 10% of the lot area up to a maximum of 6,000 s.f.  
\*\*\*See architectural plans.

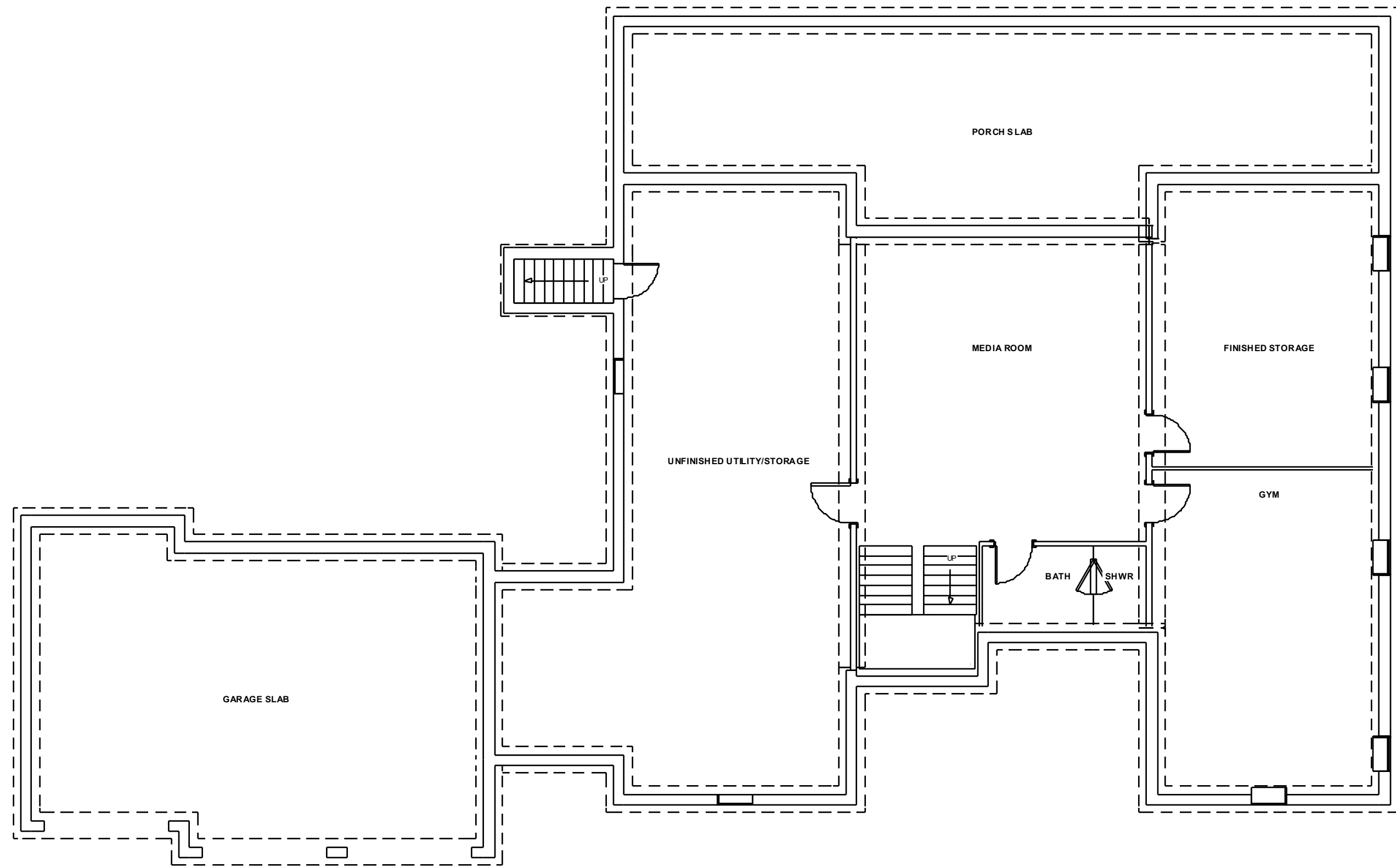


- INSPECTIONS:
- EROSION CONTROL INSPECTION BEFORE ANY SITE WORK STARTS.
  - BOTTOM OF INFILTRATION SYSTEM EXCAVATION INSPECTION TO VERIFY SOIL CONDITIONS AND GROUNDWATER PRIOR TO THE INSTALLATION OF ANY STONE OR STRUCTURES.
  - INSPECTION OF INFILTRATION SYSTEM INSTALLED BEFORE BACKFILL.
  - CONTACT THE STORMWATER ENGINEER 2 DAYS PRIOR TO SCHEDULE AN INSPECTION.









PROPOSED LOWER LEVEL

RGFA CALCULATIONS

|                    |                 |
|--------------------|-----------------|
| LOWER LEVEL:       | 0 SQFT          |
| FIRST FLOOR:       | 3,405 SQFT      |
| SECOND FLOOR:      | 2,560 SQFT      |
| ATTIC (1/2 STORY): | 0 SQFT          |
| TOTAL SQFT:        | 5,965 SQFT      |
| LOT AREA:          | 61,757 +/- SQFT |
| RGFA:              | 9.66 %          |

ZONING DISTRICT: RESIDENCE - DISTRICT A

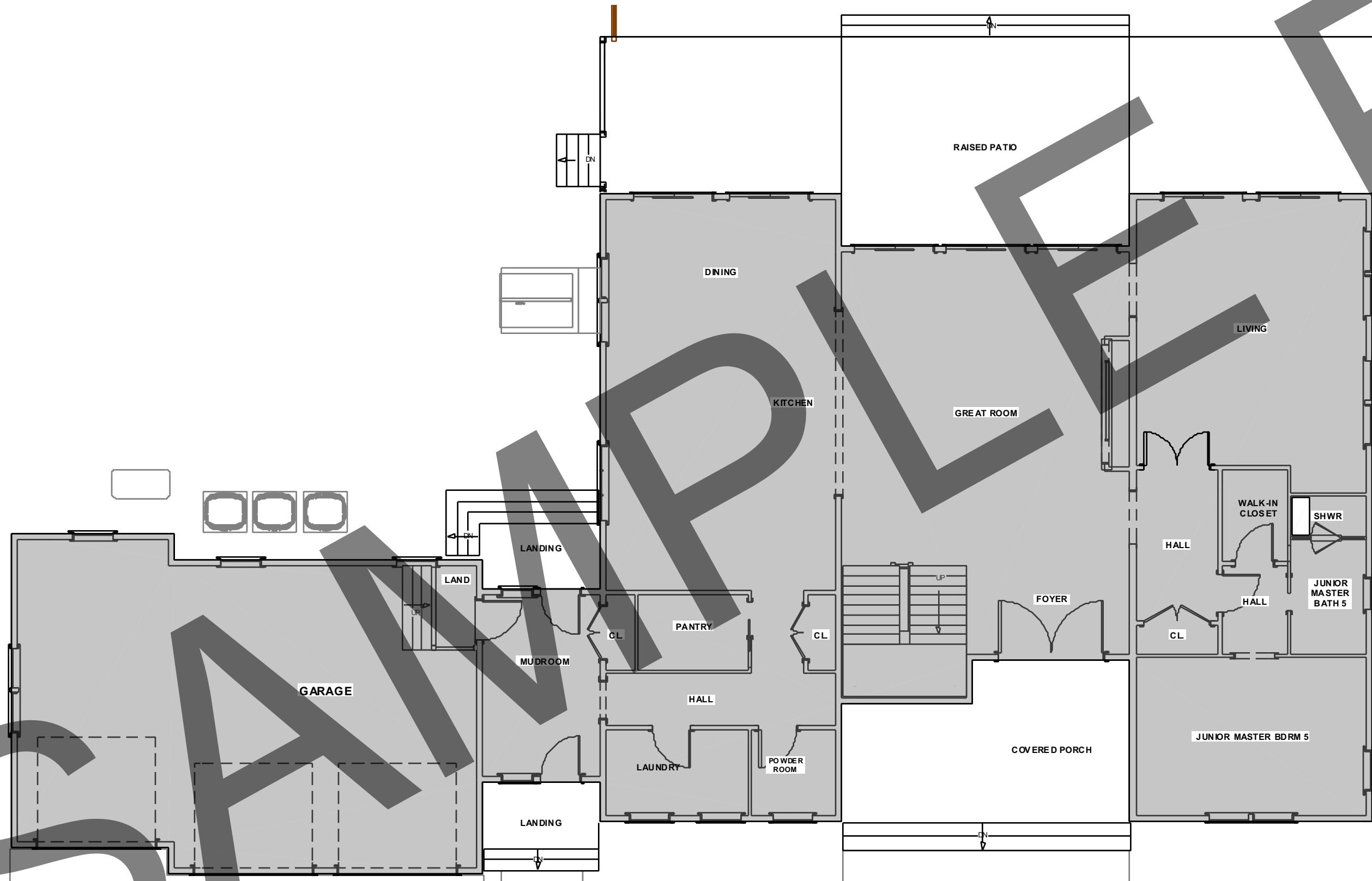
|                            | REQUIRED             | EXISTING   | PROPOSED    |
|----------------------------|----------------------|------------|-------------|
| LOT AREA                   | 60,000 sf MIN.       | 61,757 sf  | N/A         |
| LOT FRONTAGE               | 250' MIN.            | 763.0"     | N/A         |
| FRONT SETBACK              | 60' MIN.             | 74.3'      | 65.8'       |
| STREET CENTER LINE SETBACK | 85' MIN.             | 99.3'      | 90.8'       |
| SIDE SETBACK               | 45' MIN.             | 45.4'      | 46.9'       |
| REAR SETBACK               | 45' MIN.             | N/A        | N/A         |
| BUILDING HEIGHT            | 37.5' (or 2.5x) MAX. | < 37.5'    | 38.5'       |
| BUILDING GFA               | 6,000 sf MAX.        | 77777 sf** | 5,994 sf*** |

\*Total frontage measured along Country Road and Deer Path Lane.

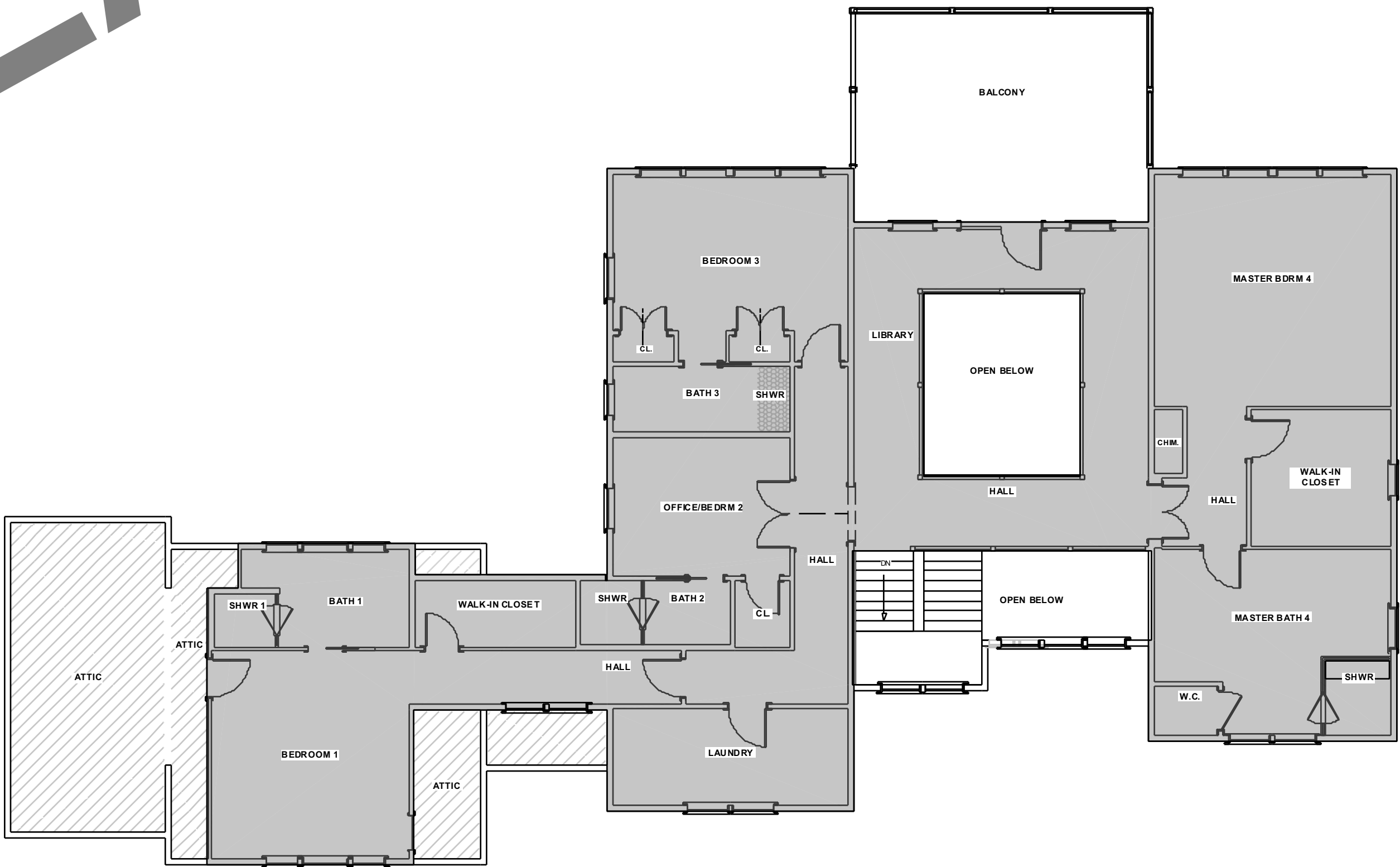
\*\*The Residential Gross Floor Area "RGFA" of any new or replacement single family dwelling use constructed pursuant to a building permit issued on or after October 29, 1998, may not exceed the greater of 3,500 s.f. or 10% of the lot area up to a maximum of 6,000 s.f.

\*\*\*Per architectural plans.

GRAYED AREAS ARE IN RGFA CALCULATIONS



PROPOSED FIRST FLOOR



PROPOSED SECOND FLOOR

ARCHITECTURE FIRM

GMT

GMT Home Designs, Inc.  
60 Pleasant Street  
Suite 10 C  
Ashland, MA 01721  
(508) 881-7992  
gmthomedesigns.com

CONTRACTOR/MANAGEMENT CO.

BLACK ANCHOR REAL ESTATE

Black Anchor Realty  
5230 Washington Street  
Suite 201  
West Roxbury, MA 02132  
(781) 326-6280 office

STRUCTURAL ENGINEER

Structural Response, LLC

Scott Nelson, PE  
(978) 866-4249



SHEET TITLE:

RGFA CALCULATIONS

CLIENT AND PROJECT ADDRESS:

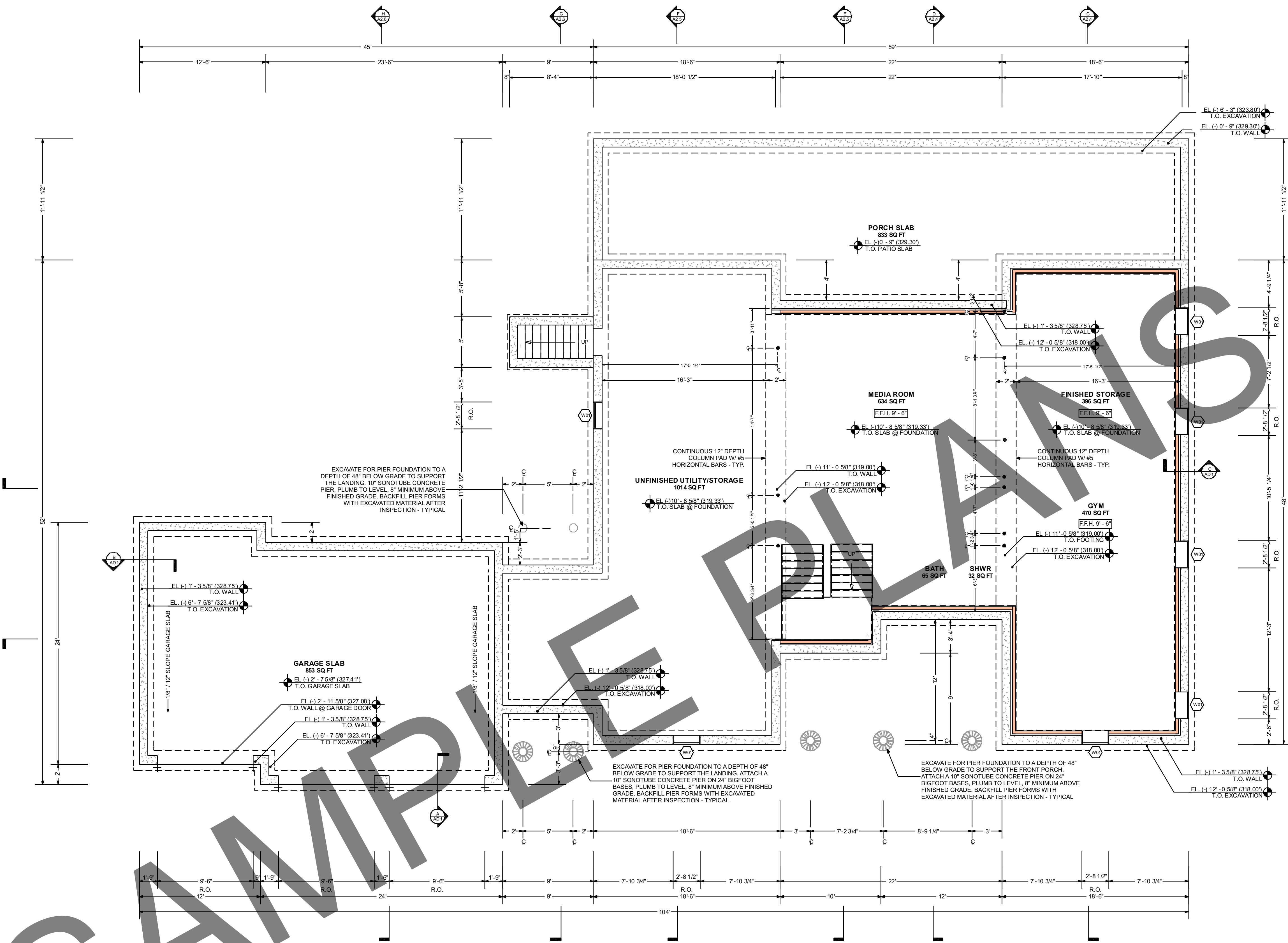
REV. DATE:

8/19/2020

SHEET:

A0.5





WALL LEGEND:

- 10" FOUNDATION WALL
- 10" FOUNDATION WALL WITH FIN. 2X4 INTERIOR WALL
- EXTERIOR 2X6 WALL
- INTERIOR 2X4 WALL
- INTERIOR 2X6 WALL
- INTERIOR 2X6 FIRE WALL
- EXTERIOR RAILING

DIMENSIONS:

- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE OF STUD TO OUTSIDE OF STUD
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD TO STUD UNLESS OTHERWISE NOTED

CONSTRUCTION NOTES: FOUNDATION

SITE WORK:  
EXCAVATE AND BACKFILL FOR NEW CONCRETE PIERS. ROUGH GRADE UPON COMPLETION

CONCRETE:  
12" X 24" CONTINUOUS KEYED FOOTINGS WITH TWO #5 REBARS. FROST WALLS: 10" WALLS WITH TWO #5 REBARS AT TOP AND BOTTOM AND ANCHOR BOLTS SIZED AND SPACED AS PER R406.1.6 WITH 3" WASHERS.  
CONCRETE FLOOR SLAB TO BE 4" OF #3000 CONCRETE POURED STIFF WITH FIBER MESH, 6 MIL POLYETHYLENE VAPOR BARRIER, METAL CONTROL JOINTS OR SCORED JOINTS TO A MAXIMUM OF TWENTY FEET ON CENTER EACH WAY, ASPHALT IMPREGNATED EXPANSION STRIP TO ISOLATE SLAB FROM WALLS. 4" GRAVEL FILL COMPACTED UNDER.  
GARAGE FLOOR SLAB TO BE 4" OF #3500 CONCRETE POURED STIFF WITH FIBER MESH, 6 MIL POLYETHYLENE VAPOR BARRIER, METAL CONTROL JOINTS OR SCORED JOINTS TO A MAXIMUM OF TWENTY FEET ON CENTER EACH WAY, ASPHALT IMPREGNATED EXPANSION STRIP TO ISOLATE SLAB FROM WALLS. 4" GRAVEL FILL COMPACTED UNDER.

INSULATION:  
EXTERIOR ENVELOPE INSULATION TO CODE: FLOORS R-30, WALLS R-21, ROOF-49.

BASEMENT PLUMBING:  
PROVIDE NEW WATER PIPING, DRAINS AND VENTS AS REQUIRED.

FINISH GRADE:  
ALL GRADING SHOWN ON ELEVATIONS SHALL BY NO MEANS BE ASSUMED AS THE ACTUAL GRADING CONDITIONS AROUND THE BUILDING. VERIFY WITH SITE ENGINEER THE TOP OF FOUNDATION AND EXACT LOCATIONS ADHERING TO THE WESTON SETBACKS.

R403.1.6 FOUNDATION ANCHORAGE.  
SILL PLATES AND WALLS SUPPORTED DIRECTLY ON CONTINUOUS FOUNDATIONS SHALL BE ANCHORED TO THE FOUNDATION IN ACCORDANCE WITH THIS SECTION.

WOOD SOLE PLATES AT ALL EXTERIOR WALLS ON MONOLITHIC SLABS. WOOD SOLE PLATES OF BRACED WALL PANELS AT BUILDING INTERIORS ON MONOLITHIC SLABS AND ALL WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH A307 OR OTHER APPLICABLE STEEL ANCHOR BOLTS, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS, SPACED A MAXIMUM OF 6 FEET (1829 MM) ON CENTER. BOLTS SHALL BE AT LEAST 1/2 INCH (12.7 MM) IN DIAMETER AND SHALL EXTEND A MINIMUM OF 7 INCHES (178 MM) INTO CONCRETE OR GROUTED CELLS OF CONCRETE MASONRY UNITS. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES (305 MM) OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLAB FOUNDATION THAT ARE NOT PART OF A BRACED WALL PANEL SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. SILL PLATES AND SOLE PLATES SHALL BE PROTECTED AGAINST DECAY AND TERMITES WHERE REQUIRED BY SECTIONS R317 AND R318. COLD-FORMED STEEL FRAMING SYSTEMS SHALL BE FASTENED TO WOOD SILL PLATES OR ANCHORED DIRECTLY TO THE FOUNDATION AS REQUIRED IN SECTION R505.3.1 OR R603.3.1.

BASEMENT STORY CALCULATIONS

TOTAL PERIMETER: 359.17' LF  
LF PERIMETER MORE THAN 6' ABOVE FINISH GRADE: 73.27' LF (27%)  
LF PERIMETER LESS THAN 6' ABOVE FINISH GRADE: 196.9' LF (73%)

\* THIS BASEMENT IS NOT A WALK-OUT THEREFORE THE BASEMENT IS NOT CONSIDERED A STORY ABOVE GRADE

A PROPOSED FOUNDATION PLAN  
A1.1 SCALE: 3/16" = 1'-0"

ARCHITECTURE FIRM  
GMT  
HOME DESIGNS  
Architects & Designers

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STRUCTURAL ENGINEER

Structural Engineers, LLC  
www.structuralengineersllc.com

Scott Nelson, PE  
(978) 866-4249

SHEET TITLE:

PROPOSED  
FOUNDATION PLAN

CLIENT AND PROJECT ADDRESS:

REV. DATE:

8/19/2020

SHEET:

A1.1

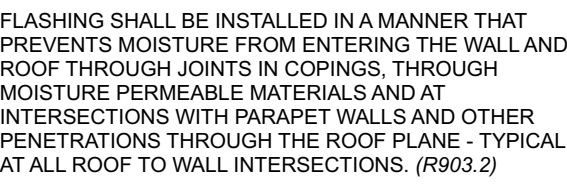












**PROPOSED SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

DIMENSIONS:

- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE OF STUD TO OUTSIDE OF STUD
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD TO STUD UNLESS OTHERWISE NOTED

## CONSTRUCTION NOTES: SECOND FLOOR

**INSULATION:**

- EXTERIOR ENVELOPE INSULATION TO CODE: FLOORS R-30, WALLS R-21, ROOF-49.

**SIDEWALL:**

- WHITE CEDAR EXTRA GRADE NATURAL R&R SHINGLES WITH 5" NOMINAL EXPOSURE TO THE WEATHER OVER HOUSEWRAP UNDERLAY WITH WHITE ALUMINUM DROP CAPS ON WINDOW AND DOOR HEAD CASINGS.

**PLUMBING:**

- PROVIDE NEW WATER PIPING, DRAINS AND VENTS AS REQUIRED.

## ROOFING:

- CERTAINTED LANDMARK IN SUNRISE CEDAR ROOFING OVER 1/2" ZIP SYSTEM ROOF SHEATHING. DRIP EDGE WILL BE 8" WHITE ALUMINUM.

**GUTTERS:**

- 5" OGEE CONTINUOUS GUTTER.

### R602.3 DESIGN AND CONSTRUCTION.

EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2) OR IN ACCORDANCE WITH AF&PA'S NDS.

COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4).

STRUCTURAL WALL SHEATHING SHALL BE FASTENED DIRECTLY TO STRUCTURAL FRAMING MEMBERS. EXTERIOR WALL COVERINGS SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3). WOOD STRUCTURAL PANEL SHEATHING USED FOR EXTERIOR WALLS SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3).

STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE A FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

EXCEPTION: JACK STUDS, TRIMMER STUDS AND CRIPPLE STUDS AT OPENINGS IN WALLS THAT COMPLY WITH TABLES R502.5(1) AND R502.5(2).

**SECOND FLOOR TOTAL FINISHED AREA:**  
2,560 SQFT

**GMT** HOME DESIGNS  
Architects & Designers

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[gmtformedesigns.com](http://gmtformedesigns.com)

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[www.structuredynamics.com](http://www.structuredynamics.com)

**Scott Nelson, PE**  
**(978) 866-4249**



ET TITLE:

PROPOSED  
SECOND FLOOR PLAN

CLIENT AND PROJECT ADDRESS:

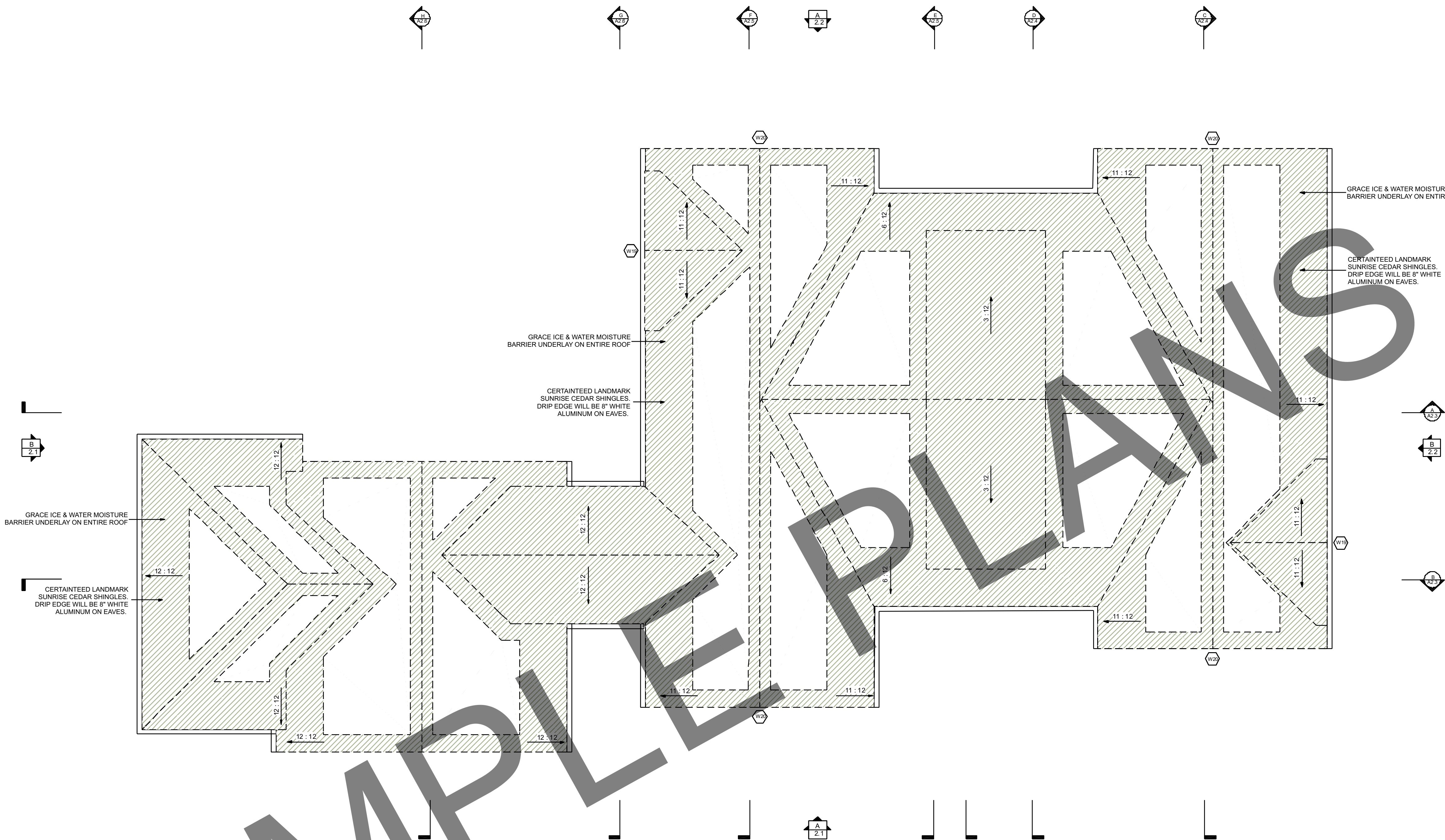
REV. DATE:

8/19/2020

SHEET:

## A1.4





**PROPOSED ROOF PLAN**  
SCALE: 3/16" = 1'-0"

### CONSTRUCTION NOTES: ROOF

- INSULATION:**
- EXTERIOR ENVELOPE INSULATION TO CODE: FLOORS R-30, WALLS R-21, ROOF-49.
- ROOFING:**
- CERTAINTEED LANDMARK IN SUNRISE CEDAR ROOFING OVER TRI-FLEX UNDERLAYMENT WITH GRACE ICE & WATER MOISTURE BARRIER UNDERLAY ON ENTIRE ROOF OVER 5/8" ZIP SYSTEM ROOF SHEATHING. DRIP EDGE WILL BE 8" WHITE ALUMINUM.
- GUTTERS:**
- 5" OGEE CONTINUOUS GUTTER.

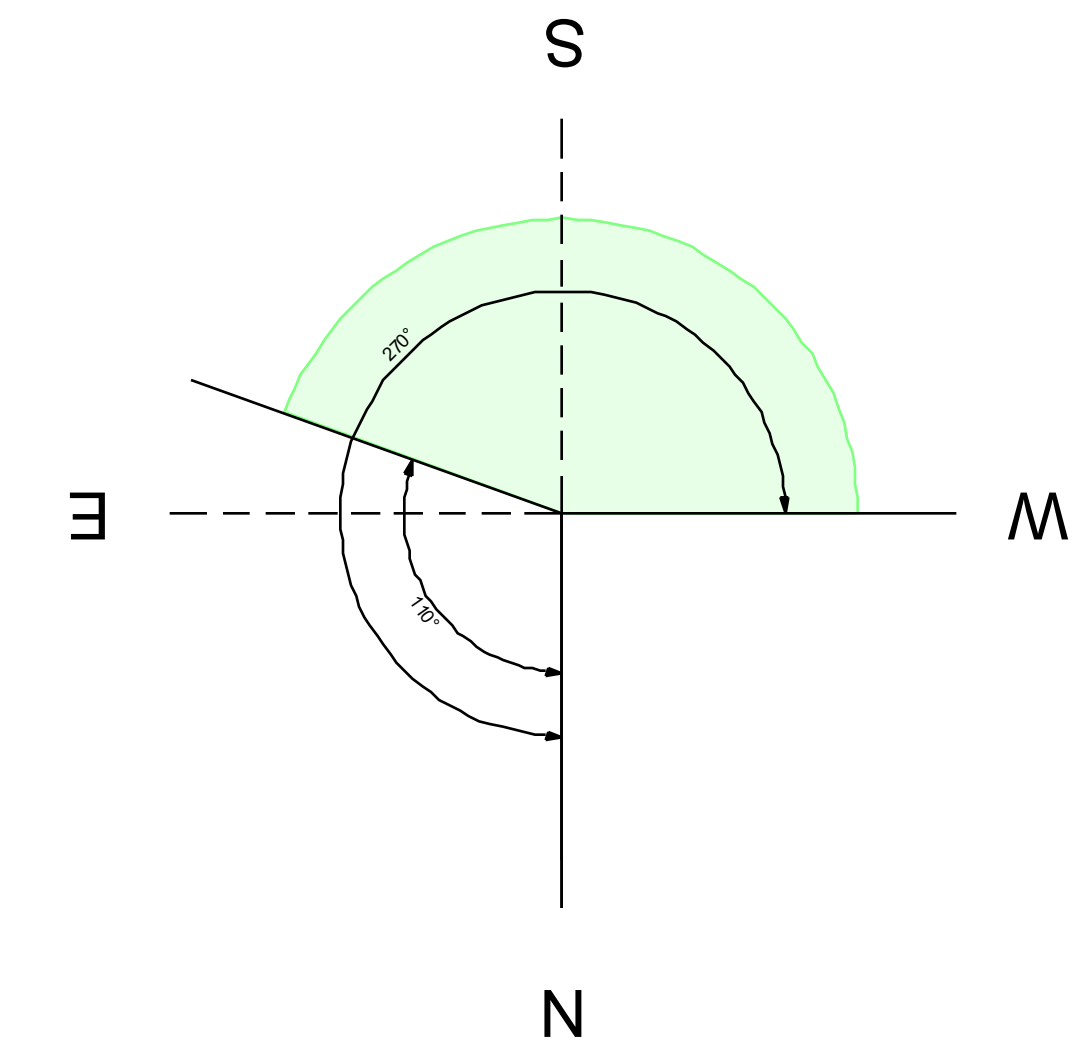
**FLASHING:**  
FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE - TYPICAL AT ALL ROOF TO WALL INTERSECTIONS. (R903.2)

**R602.3 DESIGN AND CONSTRUCTION.**  
EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3.(2) OR IN ACCORDANCE WITH AF&PA'S NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). STRUCTURAL WALL SHEATHING SHALL BE FASTENED DIRECTLY TO STRUCTURAL FRAMING MEMBERS. EXTERIOR WALL COVERINGS SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3). WOOD STRUCTURAL PANEL SHEATHING USED FOR EXTERIOR WALLS SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3).

STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE A FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

EXCEPTION: JACK STUDS, TRIMMER STUDS AND CRIPPLE STUDS AT OPENINGS IN WALLS THAT COMPLY WITH TABLES R502.5(1) AND R502.5(2).

### 780 CMR AU 103: SOLAR READY PROVISIONS



ARCHITECTURE FIRM  
**GMT**  
HOME DESIGNS  
Architects & Designers

CONTRACTOR/MANAGEMENT CO.  
**BLACK ANCHOR**  
REAL ESTATE

STRUCTURAL ENGINEER  
**Structural Engineers, LLC**  
Scott Nelson, PE  
(978) 866-4249



SHEET TITLE:  
**PROPOSED ROOF PLAN**

CLIENT AND PROJECT ADDRESS:

REV. DATE:  
8/19/2020

SHEET:  
**A1.5**





A  
A2.1  
PROPOSED FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



B  
A2.1  
PROPOSED LEFT ELEVATION  
SCALE: 3/16" = 1'-0"

### CONSTRUCTION NOTES: ELEVATIONS

**ROOFING:**

- CERTAINTED LANDMARK IN SUNRISE CEDAR ROOFING OVER TRI-FLEX UNDERLAYMENT WITH GRACE ICE & WATER MOISTURE BARRIER UNDERLAY ON ENTIRE ROOF OVER 5/8" ZIP SYSTEM ROOF SHEATHING. DRIP EDGE WILL BE 8" WHITE ALUMINUM.

**GUTTERS:**

- 5" OGEE CONTINUOUS PVC GUTTERS

**INSULATION:**

- EXTERIOR ENVELOPE INSULATION TO CODE.

**SIDEWALL:**

- WHITE CEDAR EXTRA GRADE NATURAL R&R SHINGLES WITH 5" NOMINAL EXPOSURE TO THE WEATHER OVER HOUSEWRAP UNDERLAY WITH WHITE ALUMINUM DROP CAPS ON WINDOW AND DOOR HEAD CASINGS..

**WINDOWS:**

- PELLA ARCHITECT SERIES TRADITIONAL WINDOWS WITH BLACK ALUMINUM-CLADDING EXTERIOR, PRE-FINISHED WHITE INTERIOR, 7/8 SDL WITH SPACER, LOW-E GLASS AND STANDARD SCREENS

**TRIM:**

EXTERIOR TRIM WILL BE AZEK AS FOLLOWS:

- RAKES: 1X6/1X4
- FASCIA ASSEMBLY: 1X6 FASCIA, 1X5 FRIEZE
- KICKS: 1X12 KICKS UNDER DOORS
- CASINGS: 1X4 RABBETED CASINGS ON WINDOWS AND DOORS.
- 1X7 1/4" LINTEL ON GARAGE DOORS, 1X7" LINTEL ON SECOND FLOOR WINDOWS UNDER FRIEZE
- SILL: 8/4 HISTORIC STYLE EXTERIOR SILLS

**WATER TABLE:**

- TOP: AZEK-6935 2 3/4" X 2"
- BOTTOM: AZEK FLAT STOCK 5/8" X 9 1/4"

**FLASHING:**

FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE - TYPICAL AT ALL ROOF TO WALL INTERSECTIONS. (R903.2)

**FINISH GRADE:**

ALL GRADING SHOWN ON ELEVATIONS SHALL BY NO MEANS BE ASSUMED AS THE ACTUAL GRADING CONDITIONS AROUND THE BUILDING. VERIFY WITH SITE ENGINEER THE TOP OF FOUNDATION AND EXACT LOCATION ON SITE ADHERING TO THE WESTON SETBACKS.

### HEIGHT CALCULATIONS:

CALCULATIONS OF HOUSE PER WESTON ZONING BY-LAW)

AVERAGE EXISTING GRADE: EL. 322.30'

NUMBER OF STORIES ALLOWED: 2 1/2 STORIES

PROPOSED NUMBER OF STORIES: 2 1/2 STORIES

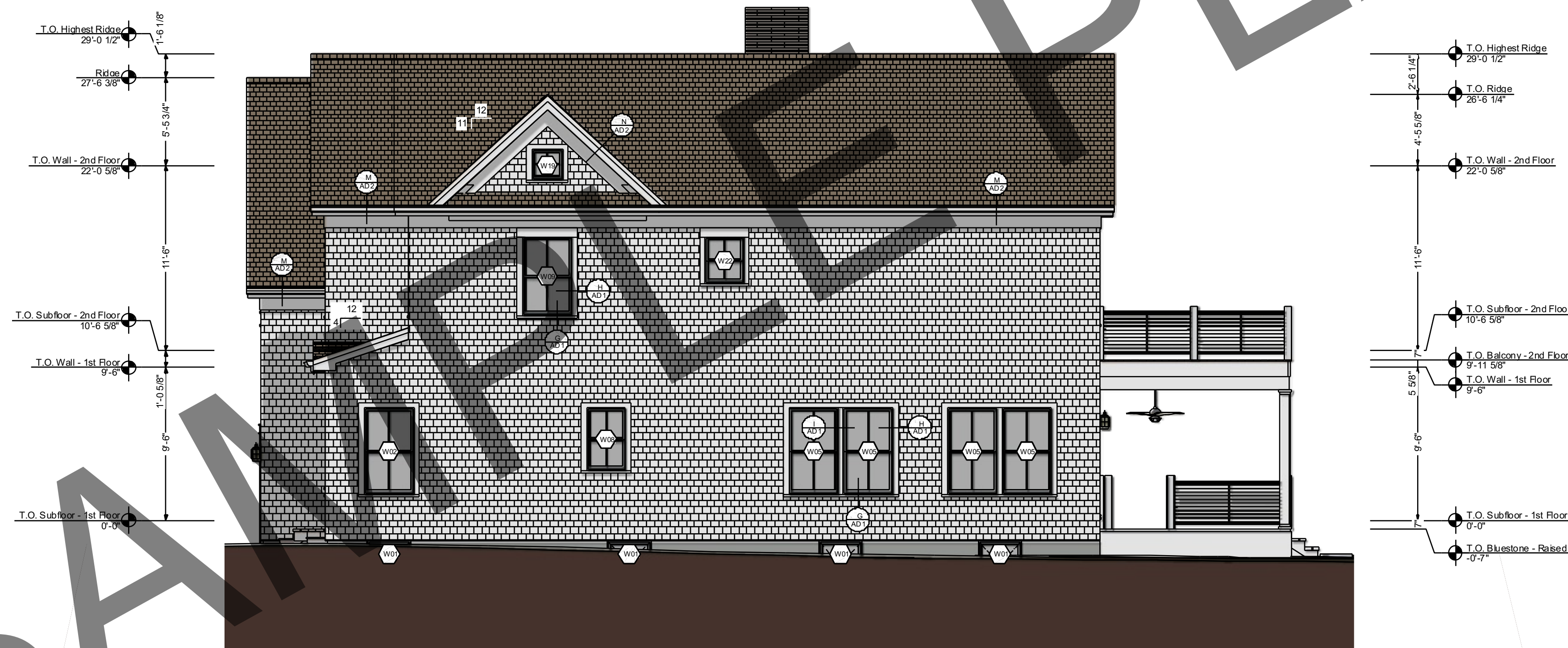
ALLOWABLE RIDGE HEIGHT: EL: 359.30' PER CERTIFICATE OF ACTION

PROPOSED RIDGE HEIGHT: EL: 359.09'





A  
A2.2  
PROPOSED REAR ELEVATION  
SCALE: 3/16" = 1'-0"



B  
A2.2  
PROPOSED RIGHT ELEVATION  
SCALE: 3/16" = 1'-0"

### CONSTRUCTION NOTES: ELEVATIONS

**ROOFING:**  
• CERTAINTED LANDMARK IN SUNRISE CEDAR ROOFING OVER TRI-FLEX UNDERLAYMENT WITH GRACE ICE & WATER MOISTURE BARRIER UNDERLAY ON ENTIRE ROOF OVER 5/8" ZIP SYSTEM ROOF SHEATHING. DRIP EDGE WILL BE 8" WHITE ALUMINUM.

**GUTTERS:**  
• 5" OGEE CONTINUOUS PVC GUTTERS.

**INSULATION:**  
• EXTERIOR ENVELOPE INSULATION TO CODE.

**SIDEWALL:**  
• WHITE CEDAR EXTRA GRADE NATURAL R&R SHINGLES WITH 5" NOMINAL EXPOSURE TO THE WEATHER OVER HOUSEWRAP UNDERLAY WITH WHITE ALUMINUM DROP CAPS ON WINDOW AND DOOR HEAD CASINGS...

**WINDOWS:**  
• PELLA ARCHITECT SERIES TRADITIONAL WINDOWS WITH BLACK ALUMINUM-CLADDING EXTERIOR, PRE-FINISHED WHITE INTERIOR, 7/8 SDL WITH SPACER, LOW-E GLASS AND STANDARD SCREENS

**TRIM:**  
EXTERIOR TRIM WILL BE AZEK AS FOLLOWS:  
• RAKES: 1X6/1X4  
• FASCIA ASSEMBLY: 1X6 FASCIA, 1X5 FRIEZE  
• KICKS: 1X12 KICKS UNDER DOORS  
• CASINGS: 1X4 RABETTED CASINGS ON WINDOWS AND DOORS,  
1X7 1/4" LINTEL ON GARAGE DOORS, 1X7" LINTEL ON SECOND FLOOR WINDOWS UNDER FRIEZE  
• SILL: 8/4 HISTORIC STYLE EXTERIOR SILLS

**WATER TABLE:**  
• TOP: AZEK-6935 2 3/4" X 2"  
• BOTTOM: AZEK FLAT STOCK 5/8" X 9 1/4"

**FLASHING:**  
FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE - TYPICAL AT ALL ROOF TO WALL INTERSECTIONS. (R903.2)

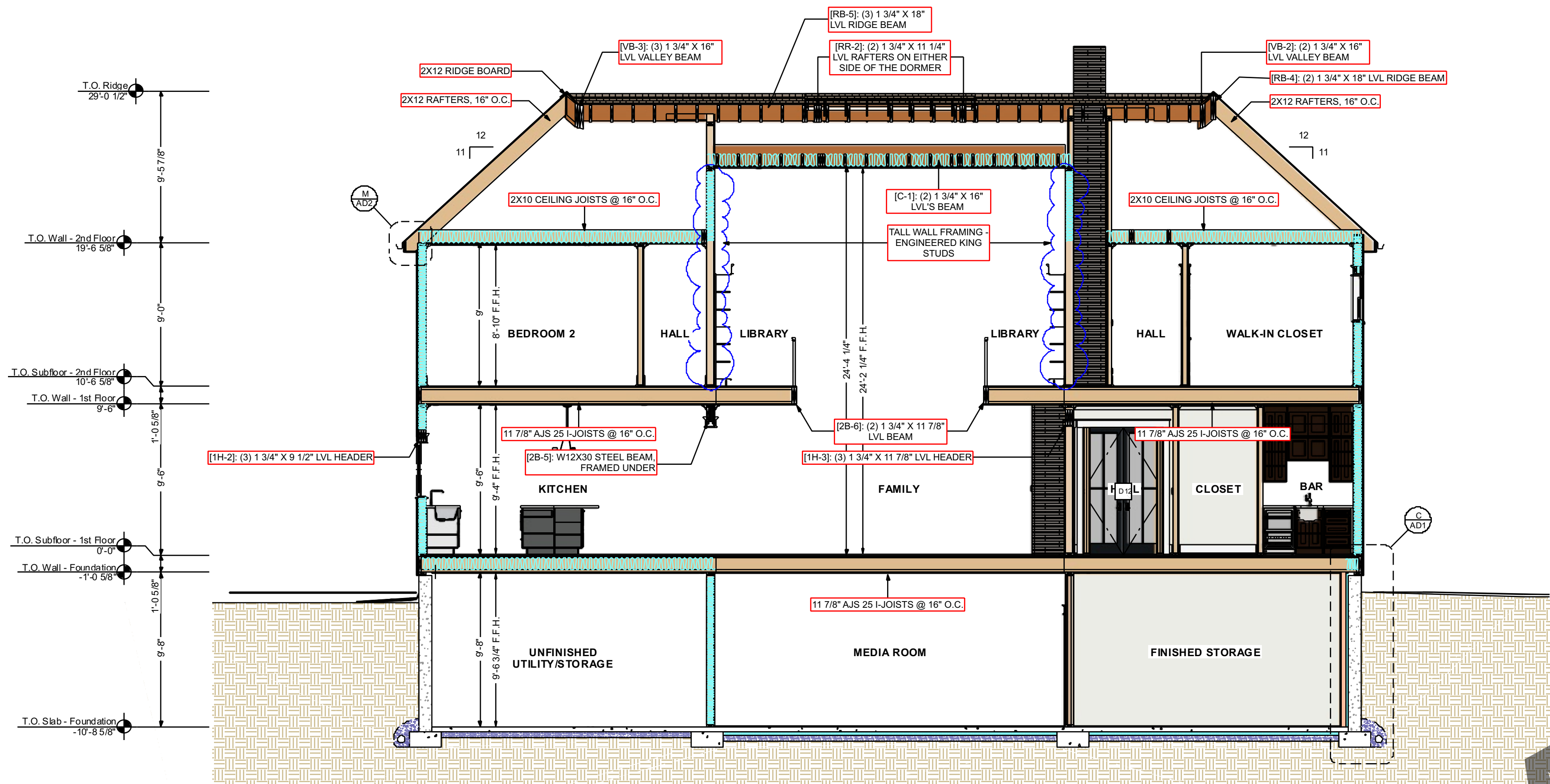
**FINISH GRADE:**  
ALL GRADING SHOWN ON ELEVATIONS SHALL BY NO MEANS BE ASSUMED AS THE ACTUAL GRADING CONDITIONS AROUND THE BUILDING. VERIFY WITH SITE ENGINEER THE TOP OF FOUNDATION AND EXACT LOCATION ON SITE ADHERING TO THE WESTON SETBACKS.

### HEIGHT CALCULATIONS:

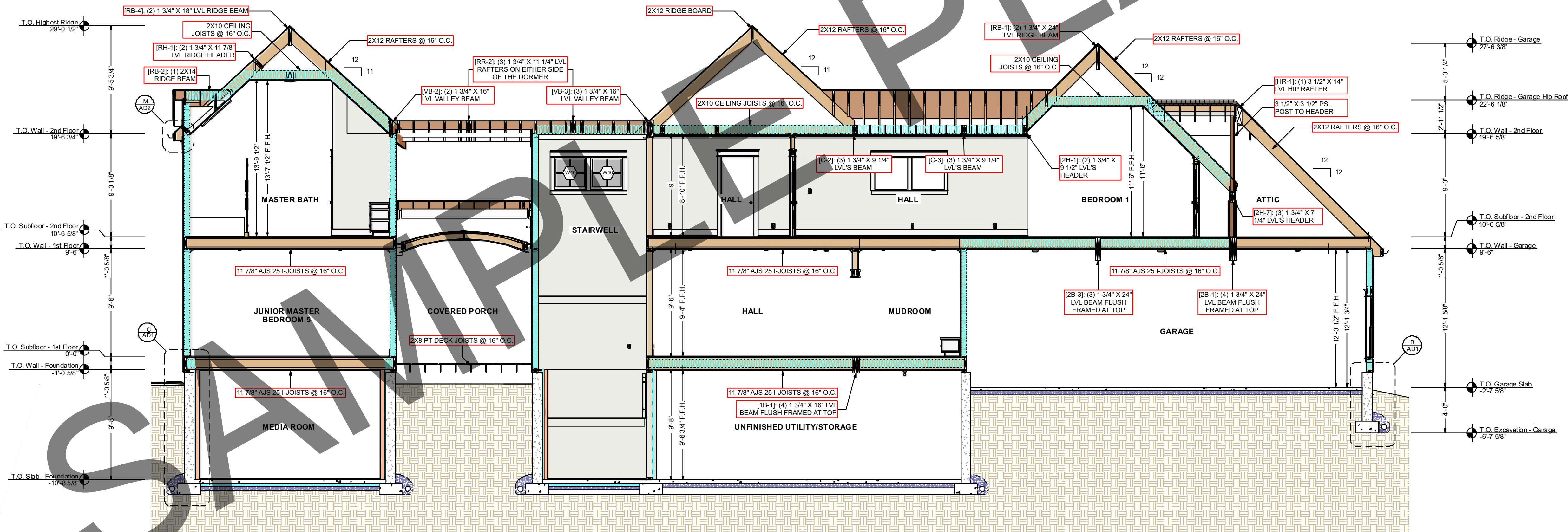
CALCULATIONS OF HOUSE PER WESTON ZONING BY-LAW)

|                             |                                       |
|-----------------------------|---------------------------------------|
| AVERAGE EXISTING GRADE:     | EL. 322.30'                           |
| NUMBER OF STORIES ALLOWED:  | 2 1/2 STORIES                         |
| PROPOSED NUMBER OF STORIES: | 2 1/2 STORIES                         |
| ALLOWABLE RIDGE HEIGHT:     | EL: 359.30' PER CERTIFICATE OF ACTION |
| PROPOSED RIDGE HEIGHT:      | EL: 359.09'                           |





**A**  
**A2.3** **PROPOSED SECTION A**  
SCALE: 3/16" = 1'-0"



**B**  
**A2.3** **PROPOSED SECTION B**  
SCALE: 3/16" = 1'-0"

**CONSTRUCTION NOTES: FRAMING**

**R602.3 DESIGN AND CONSTRUCTION.**

EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2) OR IN ACCORDANCE WITH AF&PA'S NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). STRUCTURAL WALL SHEATHING SHALL BE FASTENED DIRECTLY TO STRUCTURAL FRAMING MEMBERS. EXTERIOR WALL COVERINGS SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3). WOOD STRUCTURAL PANEL SHEATHING USED FOR EXTERIOR WALLS SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3). STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE A FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

EXCEPTION: JACK STUDS, TRIMMER STUDS AND CRIPPLE STUDS AT OPENINGS IN WALLS THAT COMPLY WITH TABLES R502.5(1) AND R502.5(2).

**NOTES: FRAMING, SHEATHING, NAILING**

FIRST FLOOR:  
SILL - PRESSURE TREATED 2X6 WITH CONTINUOUS SILL SEAL BOX - 11 7/8" CONTINUOUS BOX LVL  
JOISTS - AJS 25 11-7/8" I-JOISTS @ 16" O.C.  
FLOOR SHEATHING - 3/4" ADVANTECH T&G OSB GLUED AND NAILED  
EXTERIOR WALLS - 2X6 STUDS 16" ON CENTER WITH 7/16" ZIP WALL EXTERIOR SHEATHING APPLIED VERTICALLY, RIM TO RIM.  
INTERIOR WALLS - 2X4 STUDS 16" ON CENTER  
PORCH POSTS - PRESSURE TREATED PSL 6X6 POSTS

SECOND FLOOR:  
SILL - PRESSURE TREATED 2X6 WITH CONTINUOUS SILL SEAL.  
JOISTS - AJS 25 11-7/8" I-JOISTS @ 16" O.C.  
JOISTS - AJS 25 11-7/8" I-JOISTS @ 12" O.C. UNDER LIBRARY  
FLOOR SHEATHING - 3/4" ADVANTECH T&G OSB GLUED AND NAILED.  
EXTERIOR WALLS - 2X6 STUDS 16" ON CENTER WITH 7/16" ZIP WALL EXTERIOR SHEATHING APPLIED VERTICALLY, RIM TO RIM.  
INTERIOR WALLS - 2X4 STUDS 16" ON CENTER

CEILING:  
CEILING JOISTS - 2X10 CEILING JOISTS 16" ON CENTER.

ROOF:  
RIDGE - REFER TO ROOF FRAMING PLANS  
RAFTERS - 2X8 RAFTERS 16" ON CENTER FOR PORCH ROOFS  
RAFTERS - 2X12 RAFTERS 16" ON CENTER FOR MAIN ROOFS  
SHEATHING - 5/8" ZIP SYSTEM SHEATHING NAILED

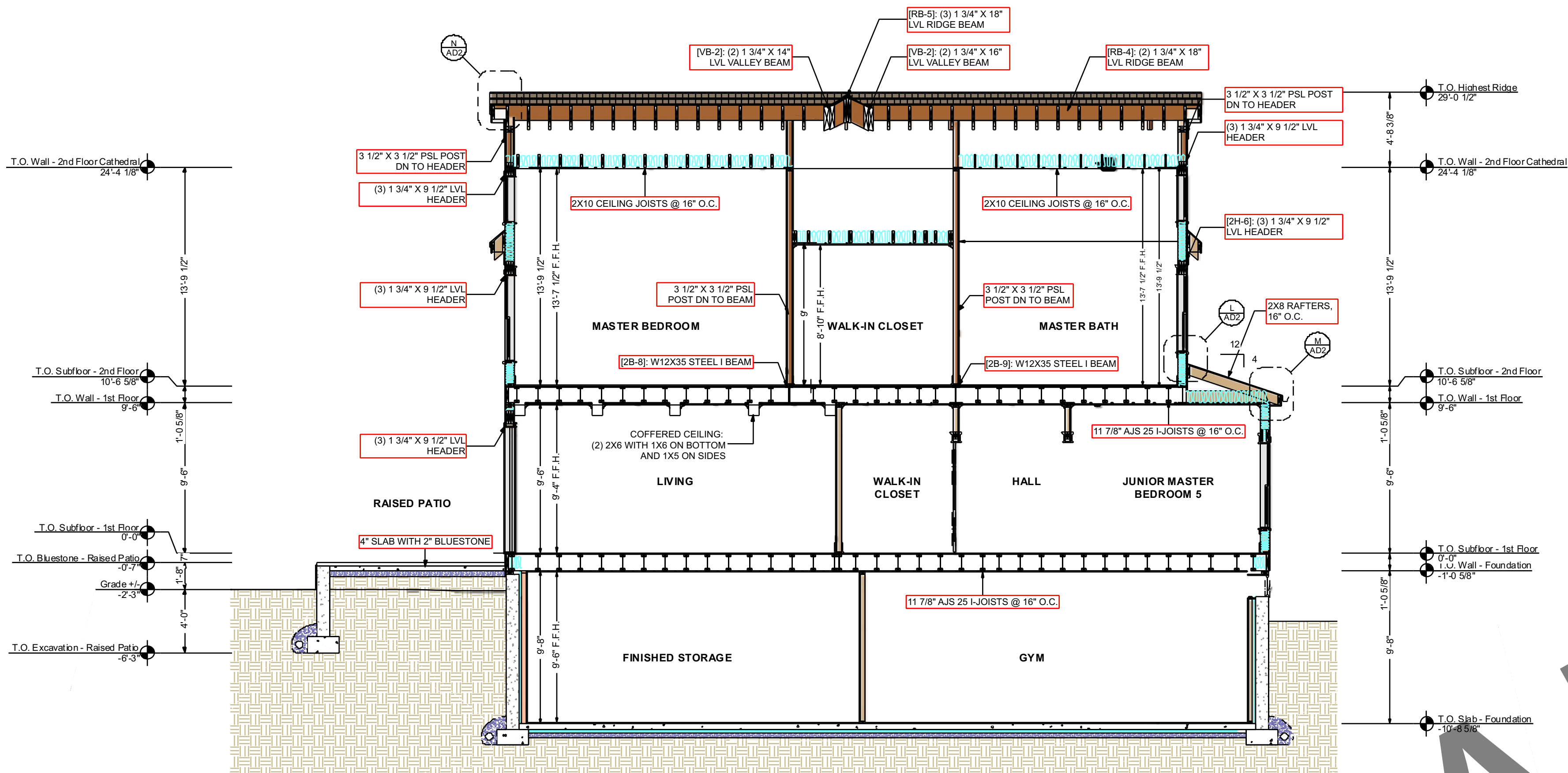
TIMBERSTRAND WALL FRAMING:  
USE ENGINEERED LSL 2X6 KING STUDS @ 16" O.C.  
STANDARD 2X6 CRIPPLE STUDS @ 16" O.C. ABOVE AND BELOW WINDOWS

FASTENERS:  
WALL AND ROOF SHEATHING - 2 1/2" X .131 DIA. NAILS WITH 3" SPACING ON EDGES AND 6" SPACING IN FIELD  
FRAMING - 3 1/4" X .131 DIA. NAILS

ALL STRUCTURAL NOTES VERIFIED AND APPROVED BY STRUCTURAL RESPONSE ENGINEERING - SEE ATTACHED SPECS AND CALC'S.

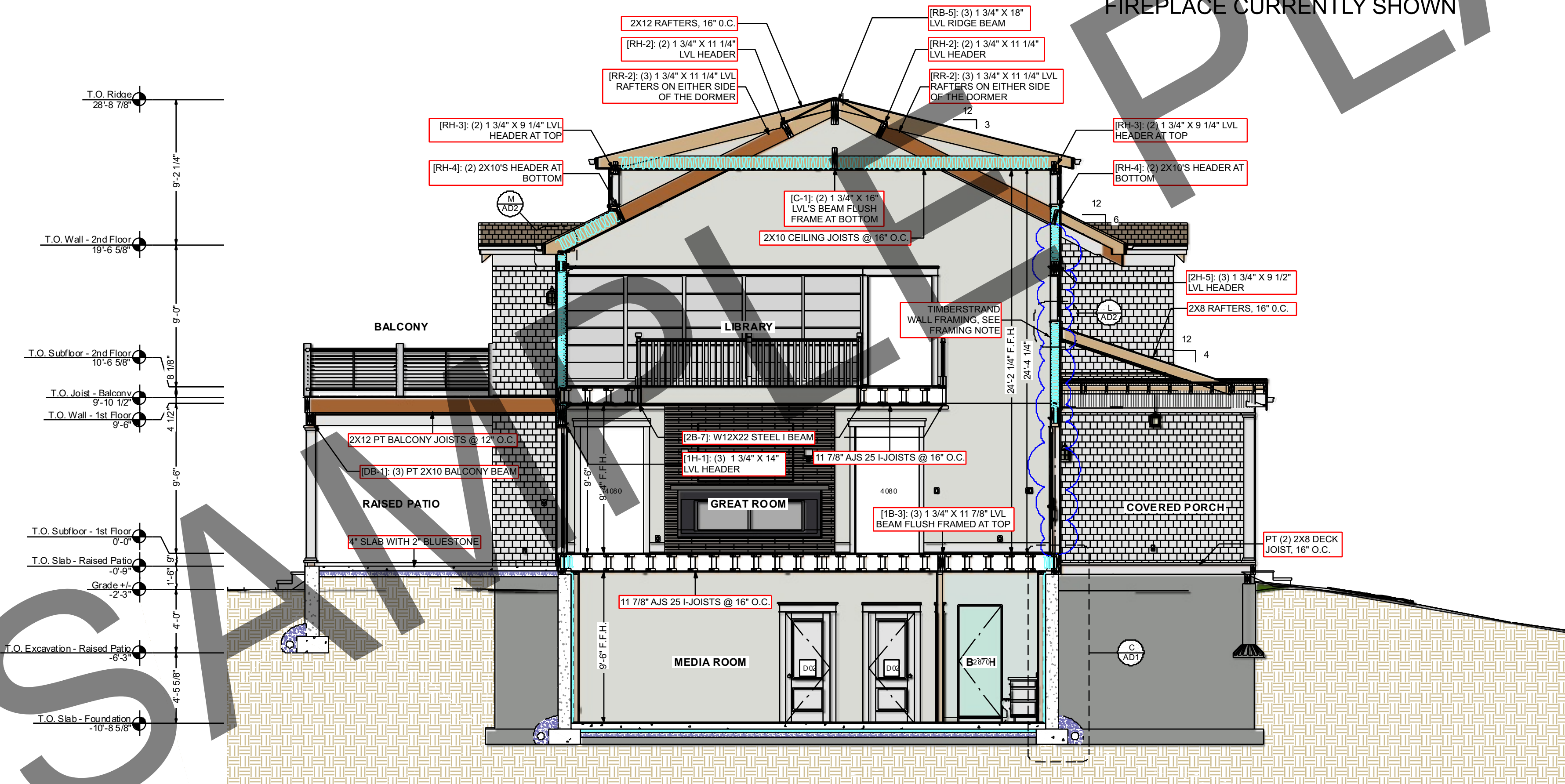
STRUCTURAL STEEL:  
FABRICATE, DETAIL ERECT, IDENTIFY AND PAINT STRUCTURAL STEEL ACCORDING TO AISC SPECIFICATIONS: EXCEPT CONTRACTOR SHALL USE THE ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH THE STRUCTURAL DRAWINGS FOR DIMENSIONS AND STRUCTURAL STEEL NOT SHOWN ON THE STRUCTURAL DOCUMENTS.





C  
A2.4  
PROPOSED SECTION C  
SCALE: 3/16" = 1'-0"

SECTION VIEW TO BE SHORTENED  
FIREPLACE CURRENTLY SHOWN



D  
A2.4  
PROPOSED SECTION D  
SCALE: 3/16" = 1'-0"

## CONSTRUCTION NOTES: FRAMING

### R602.3 DESIGN AND CONSTRUCTION.

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EXCEPTION: JACK STUDS, TRIMMER STUDS AND CRIPPLE STUDS AT OPENINGS IN WALLS THAT COMPLY WITH TABLES R502.5(1) AND R502.5(2).

## NOTES: FRAMING, SHEATHING, NAILING

### FIRST FLOOR:

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JOISTS - AJS 25 11-7/8" I-JOISTS @ 16" O.C.  
FLOOR SHEATHING - 3/4" ADVANTECH T&G OSB GLUED AND NAILED  
EXTERIOR WALLS - 2X6 STUDS 16" ON CENTER WITH 7/16" ZIP WALL EXTERIOR SHEATHING APPLIED VERTICALLY, RIM TO RIM.  
INTERIOR WALLS - 2X4 STUDS 16" ON CENTER  
PORCH POSTS - PRESSURE TREATED PSL 6X6 POSTS

### SECOND FLOOR:

SILL - PRESSURE TREATED 2X6 WITH CONTINUOUS SILL SEAL.  
JOISTS - AJS 25 11-7/8" I-JOISTS @ 16" O.C.  
JOISTS - AJS 25 11-7/8" I-JOISTS @ 12" O.C. UNDER LIBRARY  
FLOOR SHEATHING - 3/4" ADVANTECH T&G OSB GLUED AND NAILED.  
EXTERIOR WALLS - 2X6 STUDS 16" ON CENTER WITH 7/16" ZIP WALL EXTERIOR SHEATHING APPLIED VERTICALLY, RIM TO RIM.  
INTERIOR WALLS - 2X4 STUDS 16" ON CENTER

### CEILING:

CEILING JOISTS - 2X10 CEILING JOISTS 16" ON CENTER.

### ROOF:

RIDGE - REFER TO ROOF FRAMING PLANS  
RAFTERS - 2X8 RAFTERS 16" ON CENTER FOR PORCH ROOFS  
RAFTERS - 2X12 RAFTERS 16" ON CENTER FOR MAIN ROOFS  
SHEATHING - 5/8" ZIP SYSTEM SHEATHING NAILED

### TIMBERSTRAND WALL FRAMING:

USE ENGINEERED LSL 2X6 KING STUDS @ 16" O.C.  
STANDARD 2X6 CRIPPLE STUDS @ 16" O.C. ABOVE AND BELOW WINDOWS

### FASTENERS:

WALL AND ROOF SHEATHING - 2 1/2" X .131 DIA. NAILS WITH 3" SPACING ON EDGES AND 6" SPACING IN FIELD  
FRAMING - 3 1/4" X .131 DIA. NAILS

ALL STRUCTURAL NOTES VERIFIED AND APPROVED BY STRUCTURAL RESPONSE ENGINEERING - SEE ATTACHED SPECS AND CALC'S.

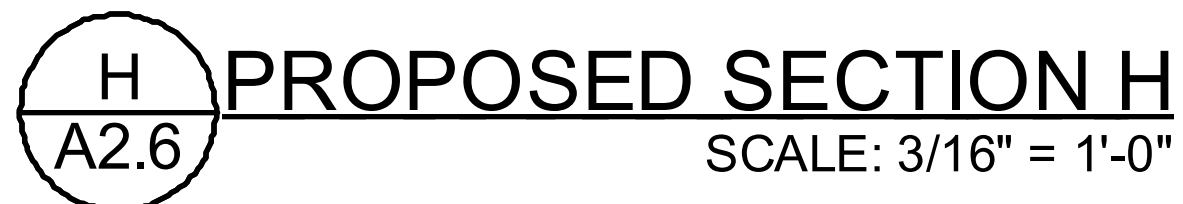
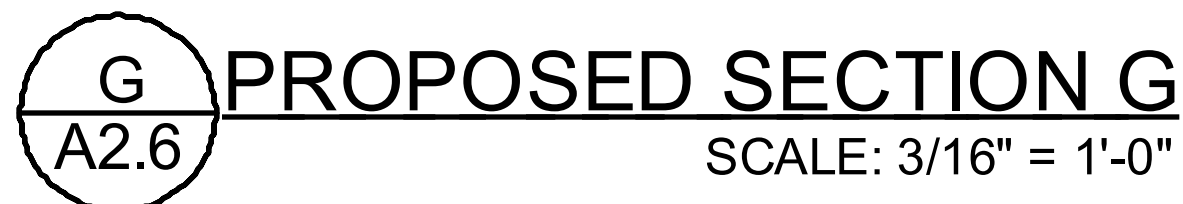
### STRUCTURAL STEEL:

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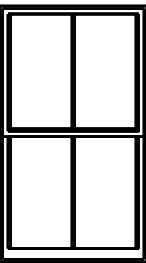
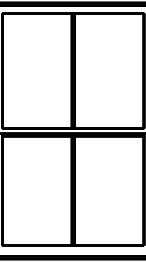
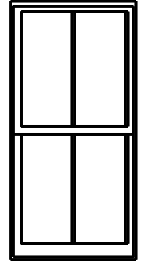
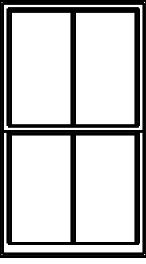
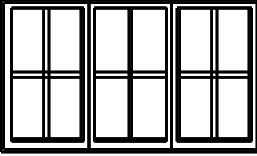
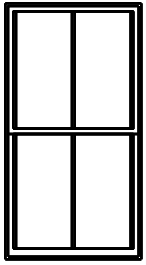
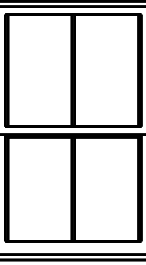
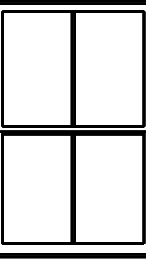
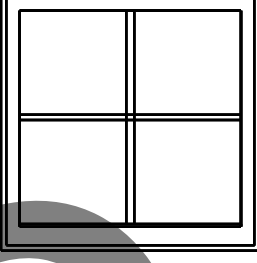
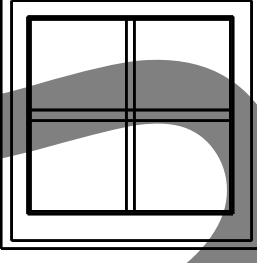


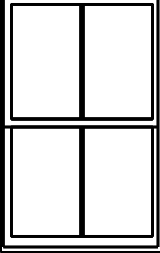
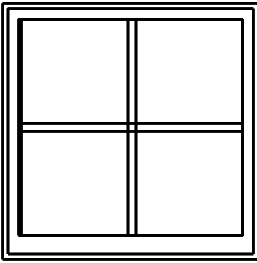
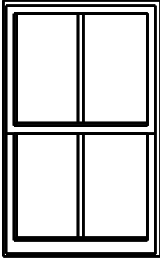
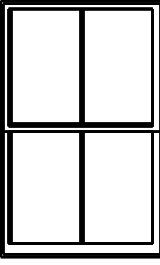
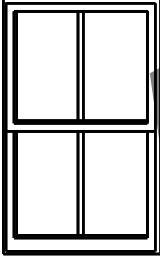
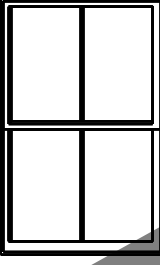
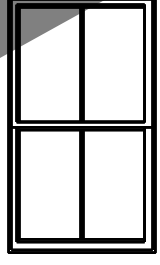
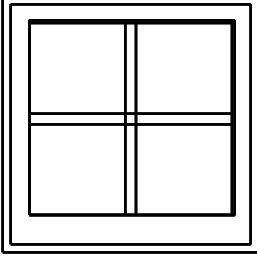
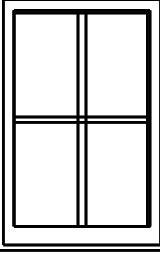
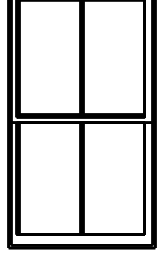
## A2.5







| WINDOW SCHEDULE   |        |         |       |     |     |              |        |             |                         |                                    |  |          |     |
|---|--------|---------|-------|-----|-----|--------------|--------|-------------|-------------------------|------------------------------------|--|----------|-----|
| 3D EXTERIOR ELEVATION   | NUMBER | LABEL   | FLOOR | QTY | R/O | WIDTH        | HEIGHT | DESCRIPTION | MANUFACTURER            | COMMENTS                           | EGRESS                                   | TEMPERED |     |
|    | W01    | BW 2817 | 0     | 7   | 32  | 1/2"x19 1/2" | 32 "   | 19 "        | SINGLE HOPPER           | HARVEY                             | UTILITY/STORAGE<br>FINISHED STORAGE, GYM |          |     |
|    | W02    | 3765    | 1     | 3   | 37  | 3/4"x65 3/4" | 37 "   | 65 "        | DOUBLE HUNG             | PELLA ARCHITECT SERIES TRADITIONAL | JUNIOR MASTER BEDROOM 6                  | YES      |     |
|    | W03    | 3759    | 1     | 3   | 37  | 3/4"x59 3/4" | 37 "   | 59 "        | DOUBLE HUNG             | PELLA ARCHITECT SERIES TRADITIONAL | LAUNDRY<br>POWDER ROOM                   |          |     |
|    | W04    | 2959    | 1     | 2   | 29  | 3/4"x59 3/4" | 29 "   | 59 "        | DOUBLE HUNG             | PELLA ARCHITECT SERIES TRADITIONAL | MUDROOM                                  |          | YES |
|    | W05    | 3765    | 1     | 9   | 37  | 3/4"x65 3/4" | 37 "   | 65 "        | DOUBLE HUNG             | PELLA ARCHITECT SERIES TRADITIONAL | GARAGE   LIVING                          |          |     |
|   | W06    | 2341    | 1     | 1   | 69  | 3/4"x41 3/4" | 69 "   | 41 "        | TRIPLE CASEMENT-LHL/RHR | PELLA ARCHITECT SERIES TRADITIONAL | KITCHEN                                  |          |     |
|  | W07    | 3771    | 1     | 2   | 37  | 3/4"x71 3/4" | 37 "   | 71 "        | DOUBLE HUNG             | PELLA ARCHITECT SERIES TRADITIONAL | DINING                                   |          |     |
|  | W08    | 2947    | 1     | 1   | 29  | 3/4"x47 3/4" | 29 "   | 47 "        | DOUBLE HUNG             | PELLA ARCHITECT SERIES TRADITIONAL | JUNIOR MASTER BATH 5                     | YES      |     |
|  | W09    | 3759    | 2     | 3   | 37  | 3/4"x59 3/4" | 37 "   | 59 "        | DOUBLE HUNG             | PELLA ARCHITECT SERIES TRADITIONAL | MASTER BATH 4                            | YES      |     |
|  | W10    | 3535    | 2     | 5   | 35  | 3/4"x35 3/4" | 35 "   | 35 "        | FIXED GLASS             | PELLA ARCHITECT SERIES TRADITIONAL | STAIR   HALL                             |          |     |
|  | W11    | 2323    | 2     | 6   | 23  | 3/4"x23 3/4" | 23 "   | 23 "        | FIXED GLASS             | PELLA ARCHITECT SERIES TRADITIONAL | DORMER AT LIBRARY<br>DOUBLE HEIGHT ENTRY |          |     |

| WINDOW SCHEDULE   |        |       |       |     |     |              |        |             |               |                                    |   |          |     |
|---|--------|-------|-------|-----|-----|--------------|--------|-------------|---------------|------------------------------------|---|----------|-----|
| 3D EXTERIOR ELEVATION   | NUMBER | LABEL | FLOOR | QTY | R/O | WIDTH        | HEIGHT | DESCRIPTION | MANUFACTURER  | COMMENTS                           | EGRESS  | TEMPERED |     |
|    | W12    | 3759  | 2     | 2   | 37  | 3/4"x59 3/4" | 37 "   | 59 "        | DOUBLE HUNG   | PELLA ARCHITECT SERIES TRADITIONAL | LAUNDRY   |          |     |
|    | W13    | 3535  | 2     | 2   | 35  | 3/4"x35 3/4" | 35 "   | 35 "        | SINGLE AWNING | PELLA ARCHITECT SERIES TRADITIONAL | BEDROOM 1 HALL                                    |          |     |
|    | W14    | 2947  | 2     | 2   | 29  | 3/4"x47 3/4" | 29 "   | 47 "        | DOUBLE HUNG   | PELLA ARCHITECT SERIES TRADITIONAL | BEDROOM 1   |          |     |
|    | W15    | 4165  | 2     | 1   | 41  | 3/4"x65 3/4" | 41 "   | 65 "        | DOUBLE HUNG   | PELLA ARCHITECT SERIES TRADITIONAL | BEDROOM 1   BEDROOM 2                             | YES      |     |
|    | W16    | 2947  | 2     | 3   | 29  | 3/4"x47 3/4" | 29 "   | 47 "        | DOUBLE HUNG   | PELLA ARCHITECT SERIES TRADITIONAL | BATH 1   BATH 3                                   |          | YES |
|   | W17    | 4165  | 2     | 1   | 41  | 3/4"x65 3/4" | 41 "   | 65 "        | DOUBLE HUNG   | PELLA ARCHITECT SERIES TRADITIONAL | BATH 1  |          | YES |
|  | W18    | 3765  | 2     | 10  | 37  | 3/4"x65 3/4" | 37 "   | 65 "        | DOUBLE HUNG   | PELLA ARCHITECT SERIES TRADITIONAL | BEDROOM 2   BEDROOM 3<br>MASTER BEDROOM 4         | YES      |     |
|  | W19    | 2323  | 3     | 2   | 23  | 3/4"x23 3/4" | 23 "   | 23 "        | FIXED GLASS   | PELLA ARCHITECT SERIES TRADITIONAL | BEDROOM 3<br>MASTER BATH                          |          |     |
|  | W20    | 2335  | 3     | 4   | 23  | 3/4"x35 3/4" | 23 "   | 35 "        | FIXED GLASS   | PELLA ARCHITECT SERIES TRADITIONAL | ATTIC   MASTER BATH<br>BEDROOM 3   MASTER BEDROOM |          |     |
|  | W21    | 3765  | 2     | 2   | 37  | 3/4"x65 3/4" | 37 "   | 65 "        | DOUBLE HUNG   | PELLA ARCHITECT SERIES TRADITIONAL | LIBRARY   |          |     |

DISCLAIMER:

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WINDOW NOTES:

PELLA ARCHITECT SERIES TRADITIONAL WINDOWS WITH BLACK ALUMINUM-CLADDING EXTERIOR, PRE-FINISHED WHITE INTERIOR, 7/8 SDL WITH SPACER, LOW-E GLASS AND STANDARD SCREENS

ARCHITECTURE FIRM  
GMT  
HOME DESIGNS  
Architects & Designers  
GMT Home Designs, Inc.  
69 Pleasant Street  
Suite 10 C  
Ashland, MA 01721  
(508) 881-7992  
gmthomedesigns.com

CONTRACTOR/MANAGEMENT CO.  
BLACK ANCHOR  
REAL ESTATE  
Black Anchor Realty  
5230 Washington Street  
Suite 201  
West Roxbury, MA 02132  
(781) 326-6280 office

STRUCTURAL ENGINEER  
Structural Response, LLC  
www.structuralresponse.com  
Scott Nelson, PE  
(978) 866-4249



SHEET TITLE:  
PROPOSED  
WINDOW SCHEDULE

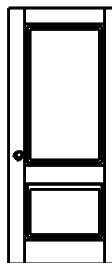
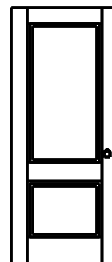
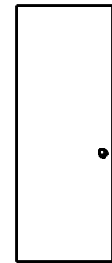
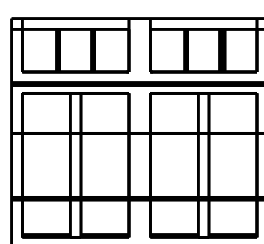
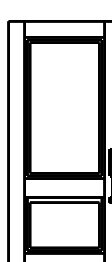
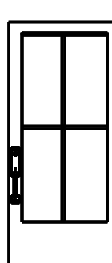
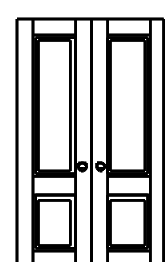
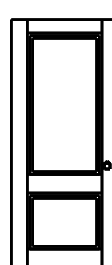

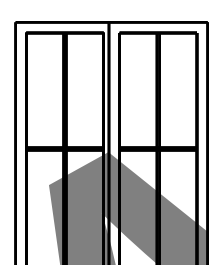
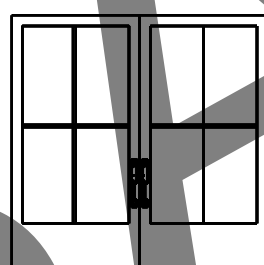
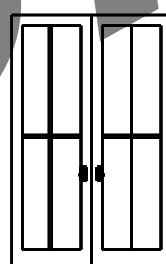
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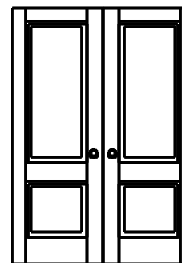
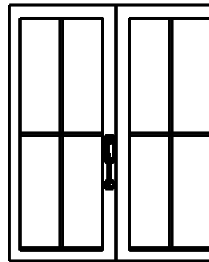
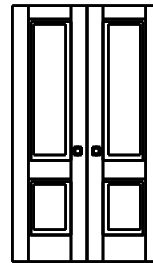
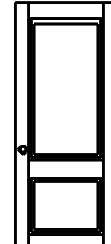
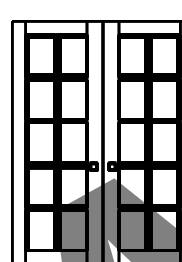
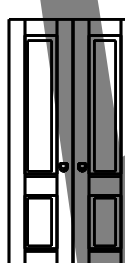

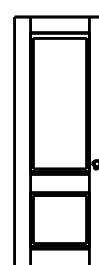
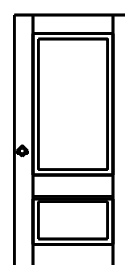
REV. DATE:  
8/19/2020

SHEET:

A3.1



| DOOR SCHEDULE   |        |       |       |     |       |          |                                |                                       |  | COMMENTS |
|---|--------|-------|-------|-----|-------|----------|--------------------------------|---------------------------------------|--|----------|
| 3D EXTERIOR ELEVATION   | NUMBER | LABEL | FLOOR | QTY | WIDTH | HEIGHT   | DESCRIPTION                    | MANUFACTURER                          |  |          |
|    | D01    | 3070  | 0     | 1   | 36 "  | 84 "     | HINGED-TS2060                  | TRUSTILE OR EQUAL                     | UTILITY/STORAGE                                |          |
|    | D02    | 21070 | 0     | 3   | 34 "  | 84 "     | HINGED-TS2060                  | TRUSTILE OR EQUAL                     | GYM, MEDIA ROOM<br>LOWER LEVEL BATH            |          |
|    | D03    | 2770  | 0     | 1   | 31 "  | 84 "     | HINGED-SLAB                    | TBD                                   | BULKHEAD                                       |          |
|    | D04    | 9080  | 1     | 3   | 108 " | 96 "     | GARAGE-C12-REC13               | CLOPAY OR EQUAL                       | GARAGE   |          |
|    | D05    | 3070  | 1     | 1   | 36 "  | 84 "     | EXT. HINGED-TS2060             | TRUSTILE OR EQUAL<br>FIRE RATED       | GARAGE/MUDROOM                                 |          |
|   | D06    | 3070  | 1     | 2   | 36 "  | 84 "     | EXT. HINGED-GLASS PANEL        | TRUSTILE OR EQUAL                     | MUDROOM  |          |
|  | D07    | 4070  | 1     | 2   | 48 "  | 84 "     | DOUBLE HINGED-TS2060           | TRUSTILE OR EQUAL                     | HALL CLOSET   MUDROOM CLOSET                   |          |
|  | D08    | 21070 | 1     | 4   | 34 "  | 84 "     | HINGED-TS2060                  | TRUSTILE OR EQUAL                     | LAUNDRY   POWDER RM   HALL  <br>WALK-IN CLOSET |          |
|  | D09    | 2670  | 1     | 2   | 30 "  | 84 "     | POCKET-TS2060                  | TRUSTILE OR EQUAL                     | PANTRY   JR MASTER BATH 5                      |          |
|  | D10    | 3696  | 1     | 7   | 72 "  | 95 1/2 " | EXT. SLIDER-GLASS PANEL        | PELLA ARCHITECT SERIES<br>TRADITIONAL | DINING   GREAT ROOM   LIVING                   |          |
|  | D11    | 9080  | 1     | 1   | 96 "  | 96 "     | EXT. DOUBLE HINGED-GLASS PANEL | TRUSTILE OR EQUAL                     | FOYER  |          |
|  | D12    | 5080  | 1     | 1   | 60 "  | 96 "     | EXT. INSWING GLASS DOOR        | PELLA ARCHITECT SERIES<br>TRADITIONAL | LIVING   |          |

| DOOR SCHEDULE   |        |       |       |     |       |        |                                |                                    |  | COMMENTS |
|---|--------|-------|-------|-----|-------|--------|--------------------------------|------------------------------------|--|----------|
| 3D EXTERIOR ELEVATION   | NUMBER | LABEL | FLOOR | QTY | WIDTH | HEIGHT | DESCRIPTION                    | MANUFACTURER                       |  |          |
|    | D13    | 5070  | 1     | 1   | 60 "  | 84 "   | DOUBLE HINGED-TS2060           | TRUSTILE OR EQUAL                  | HALL CLOSET  |          |
|    | D14    | 3686  | 2     | 1   | 72 "  | 86 "   | EXT. DOUBLE HINGED-GLASS PANEL | PELLA ARCHITECT SERIES TRADITIONAL | LIBRARY/BALCONY  |          |
|    | D15    | 4070  | 2     | 1   | 48 "  | 84 "   | DOUBLE HINGED-TS2060           | TRUSTILE OR EQUAL                  | HALL   |          |
|    | D16    | 21070 | 2     | 6   | 34 "  | 84 "   | HINGED-TS2060                  | TRUSTILE OR EQUAL                  | MASTER BED WALK-IN CLOSET<br>MASTER BATH   MASTER BATH WC<br>LAUNDRY   BEDROOM 1 AND 3 |          |
|    | D17    | 5070  | 2     | 1   | 60 "  | 84 "   | DOUBLE HINGED-FL1000           | TRUSTILE OR EQUAL                  | OFFICE/BEDROOM 2   |          |
|   | D18    | 3670  | 2     | 2   | 42 "  | 84 "   | DOUBLE HINGED-TS2060           | TRUSTILE OR EQUAL                  | BEDROOM 3 CLOSET   |          |
|  | D19    | 2670  | 2     | 3   | 30 "  | 84 "   | POCKET-TS2060                  | TRUSTILE OR EQUAL                  | BATH 1   BATH 2   BATH 3   |          |
|  | D20    | 2670  | 2     | 2   | 30 "  | 84 "   | HINGED-TS2060                  | TRUSTILE OR EQUAL                  | BEDROOM 1 WALK-IN CLOSET<br>OFFICE/BEDROOM 2 CLOSET                                    |          |
|  | D21    | 21064 | 2     | 1   | 34 "  | 76 "   | HINGED-TS2060                  | TRUSTILE OR EQUAL                  | BEDROOM 1 ATTIC ACCESS   |          |

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DOOR NOTES:

GARAGE DOOR TO BE CLOPAY OR EQUAL

EXTERIOR DOORS TO BE PELLA ARCHITECT SERIES TRADITIONAL DOORS UNLESS NOTED OTHERWISE, WITH BLACK ALUMINUM-CLADDING EXTERIOR, PRE-FINISHED WHITE INTERIOR, 7/8 SDL WITH SPACER, LOW-E GLASS AND STANDARD SCREENS FOR APPLICABLE DOORS.

INTERIOR DOORS TO BE TRUSTILE OR EQUAL.

ARCHITECTURE FIRM

GMT Home Designs, Inc.  
69 Pleasant Street  
Suite 10 C  
Ashland, MA 01721  
(508) 881-7992  
gmthomedesigns.com

GMT  
HOME DESIGNS  
Architects & Designers

CONTRACTOR/MANAGEMENT CO.

Black Anchor Realty  
5230 Washington Street  
Suite 201  
West Roxbury, MA 02132  
(781) 326-6280 office

BLACK ANCHOR  
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Structural Response, LLC  
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Scott Nelson, PE  
(978) 866-4249



SHEET TITLE:

PROPOSED  
DOOR SCHEDULE

CLIENT AND PROJECT ADDRESS:

REV. DATE:

8/19/2020

SHEET:

A3.2



| ROOM NUMBER   ROOM NAME |                      | AREA, INTERIOR (SQ FT) | CEILING FINISH HEIGHT | WALL MATERIAL   | ROOM FINISH SCHEDULE |  | FLOOR FINISH   | CEILING FINISH              |
|-------------------------|----------------------|------------------------|-----------------------|---|----------------------|--|--|-----------------------------|
| 101                     | FOYER                | 83                     | 124 5/8"              | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 102                     | HALL                 | 72                     | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 102a                    | CL.                  | 13                     | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 103                     | HALL                 | 33                     | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 104                     | WALK-IN CLOSET       | 34                     | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 105                     | JUNIOR MASTER BATH 5 | 49                     | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE, GLASS TEMPERED, WT1 - WALL TILE, KACY WHITE |                      |  | T1 - TILE FLOORING, KACY WHITE, TILE BACKERBOARD         | FIR FRAMING, DRYWALL, WHITE |
| 105a                    | SHWR                 | 17                     | 112"                  | GLASS TEMPERED, WT1 - WALL TILE, KACY WHITE   |                      |  | T1 - TILE FLOORING, KACY WHITE, TILE BACKERBOARD         | FIR FRAMING, DRYWALL, WHITE |
| 106                     | JUNIOR MASTER BDRM 5 | 209                    | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 107                     | LIVING               | 366                    | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 108                     | GREAT ROOM           | 504                    | 112", 124 5/8"        | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE, ELDORADO STONE - ZINC                       |                      |  | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 109                     | DINING               | 236                    | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 110                     | KITCHEN              | 288                    | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 111                     | HALL                 | 93                     | 112"                  | CHAMFER WHITE 01, HORIZONTAL  |                      |  | T2 - TILE FLOORING, HERRINGBONE SLATE, TILE BACKERBOARD  | FIR FRAMING, DRYWALL, WHITE |
| 111a                    | CL.                  | 12                     | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | T2 - TILE FLOORING, HERRINGBONE SLATE, TILE BACKERBOARD  | FIR FRAMING, DRYWALL, WHITE |
| 112                     | PANTRY               | 47                     | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | T2 - TILE FLOORING, HERRINGBONE SLATE, TILE BACKERBOARD  | FIR FRAMING, DRYWALL, WHITE |
| 113                     | POWDER ROOM          | 41                     | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | T4 - TILE FLOORING, KACY WHITE HEXAGON, TILE BACKERBOARD | FIR FRAMING, DRYWALL, WHITE |
| 114                     | LAUNDRY              | 69                     | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | T3 - TILE FLOORING, SONORA, TILE BACKERBOARD             | FIR FRAMING, DRYWALL, WHITE |
| 115                     | MUDROOM              | 123                    | 112"                  | CHAMFER WHITE 01, HORIZONTAL  |                      |  | T2 - TILE FLOORING, HERRINGBONE SLATE, TILE BACKERBOARD  | FIR FRAMING, DRYWALL, WHITE |
| 115a                    | CL.                  | 12                     | 112"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | T2 - TILE FLOORING, HERRINGBONE SLATE, TILE BACKERBOARD  | FIR FRAMING, DRYWALL, WHITE |
|                         | GARAGE               | 782                    | 144 3/8"              | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE  |                      |  | T2 - TILE FLOORING, HERRINGBONE SLATE, TILE BACKERBOARD  | FIR FRAMING, DRYWALL, WHITE |

WALL LEGEND:

- 10" FOUNDATION WALL
- 10" FOUNDATION WALL WITH FIN. 2X4 INTERIOR WALL
- EXTERIOR 2X6 WALL
- INTERIOR 2X4 WALL
- INTERIOR 2X6 WALL
- INTERIOR 2X6 FIRE WALL
- EXTERIOR RAILING

DIMENSIONS:

- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE OF STUD TO OUTSIDE OF STUD
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD TO STUD UNLESS OTHERWISE NOTED

FINISH NOTES: FIRST FLOOR

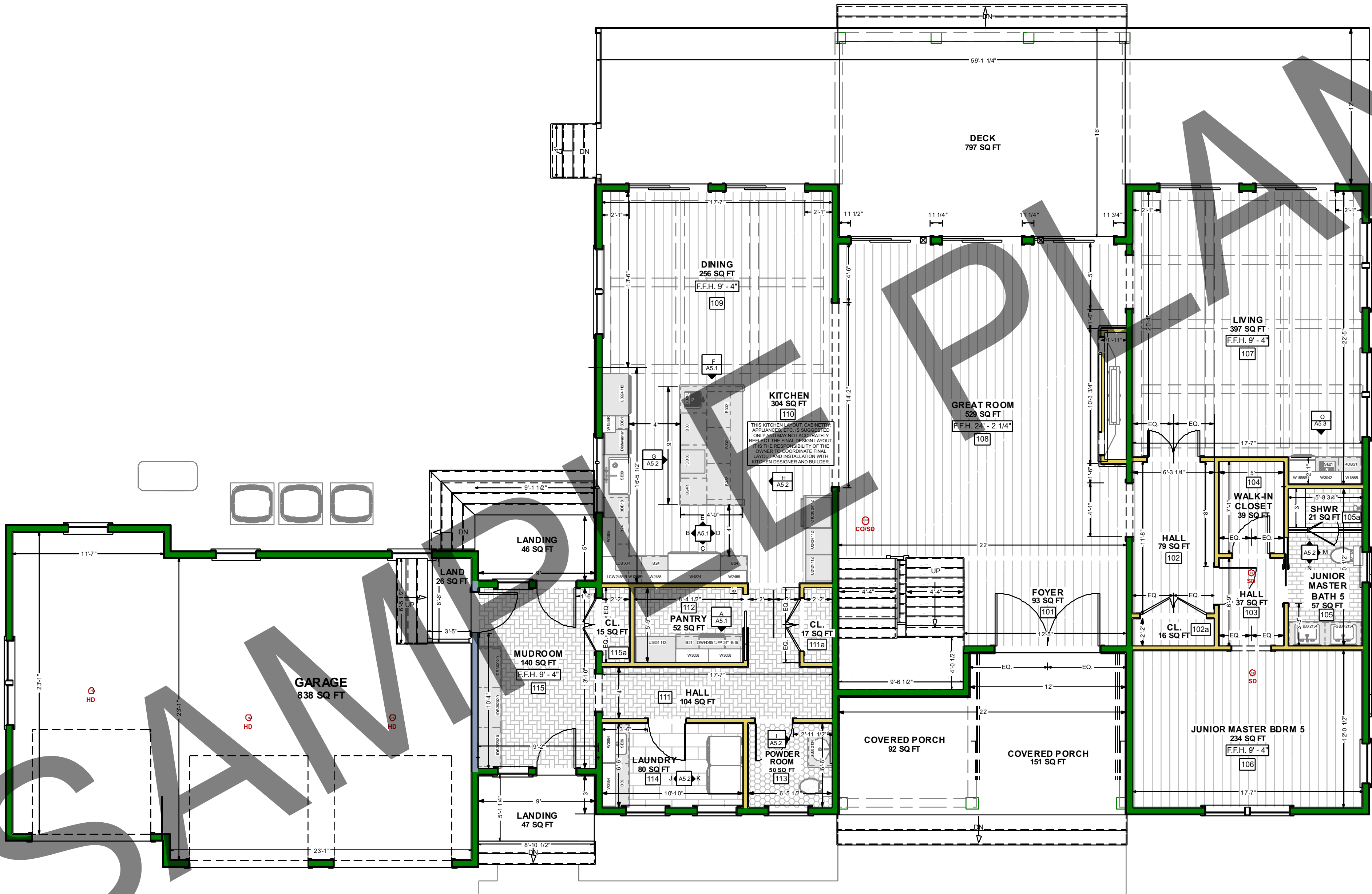
- WALL AND CEILING FINISH:**
- SHERWIN WILLIAMS OR BENJAMIN MOORE PAINT TO BE USED, WALLS WILL BE PAINTED OFF-WHITE AND CEILINGS WILL BE PAINTED WHITE. APPLY TWO (2) COATS OF FINISH PAINT.
  - THE LIVING ROOM AND DINING ROOM WILL HAVE A COFFERED CEILING.
  - WALL TILE ON JUNIOR MASTER BATH SHOWER, FULL HEIGHT BACKSLASHES IN KITCHEN, LAUNDRY AND WET BAR IN LIVING
- INTERIOR TRIM:**
- INTERIOR TRIM WILL BE WINDSORONE.
  - BASEBOARD: WINDSORONE CLASSICAL CRAFTSMAN BASE BUILDUP (WOBM001+WOBM003) BASEBOARD WILL BE 7 1/4" IN HEIGHT
  - WINDOW AND DOOR CASING WILL USE THE WINDSORONE S4SSE TRIM BOARDS. WINDOWS WILL HAVE INTERIOR LINTELS USING 5/4 X 4 TRIM BOARDS. DOORS WILL HAVE INTERIOR LINTELS USING 5/4 X 4 AND 1 X2 TRIM BOARDS.

- FLOORING:**
- WOOD FLOORING WILL BE 8" CARLISLE WIDE PLANK FLOORS. THIS WILL BE LOCATED IN ALL FINISHED ROOMS EXCEPT THE BATHROOMS.
  - TILE FLOORING IN MUDROOM, HALL, ADJACENT CLOSETS, LAUNDRY, POWDER ROOM AND JUNIOR MASTER BATH
- CABINETS AND COUNTERTOPS:**
- CABINETS: WHITE WITH OIL BRUSHED BRONZE HARDWARE, SHAKER DOOR STYLE
  - KITCHEN AND MASTER BATHROOM COUNTERTOPS: TO BE SELECTED
  - PANTRY AND BATHROOM COUNTERTOPS: TO BE SELECTED

- HEARTH & SURROUND:** STONE TO BE SELECTED
- INTERIOR PAINTING:** TO BE TWO COATS OF FINISH ON PRE-PRIMED WOOD AND ONE COAT PRIMER AND TWO COATS OF FINISH ON UNPRIMED WOOD. PRIMER AND TWO COATS OF FINISH ON WALLS AND CEILINGS. THIS INCLUDES PAINTING OF BUILT-INS.

- FINISH HARDWARE:** FRONT ENTRY AND GARAGE SIDE ENTRY LOCKSETS, DOOR FROM GARAGE-TO-MUDROOM LOCKSET, AND ALL INTERIOR DOOR HARDWARE
- CLOSET SHELVING:** TO BE SELECTED
- TOILET AND BATH ACCESSORIES:** ALL TOILET AND BATH ACCESSORIES TO BE SELECTED
- MIRRORS:** ALL MIRRORS 42" TALL BY THE WIDTH OF EACH VANITY OR PEDESTAL WITH POLISHED EDGES
- SHOWER DOORS:** TO BE SELECTED
- GAS FIREPLACE:** TO BE SELECTED
- CENTRAL VACUUM SYSTEM:** TO BE SELECTED
- SECURITY ALARM SYSTEM:** SMOKE, CARBON MONOXIDE, RATE-OF-HEAT RISE DETECTION PER CODE WITH SECURITY ALARM SYSTEM.
- DECKING:** AT MAIN ENTRY AND BOTH MUDROOM ENTRIES TO BE PRESSURE TREATED 2X12 STRINGERS WITH AZEK DECKING FOR STEPS. AZEK DECKING OR EQUAL
- APPLIANCES:** TO BE SELECTED

FIRST FLOOR TOTAL FINISHED AREA:  
3,405 SQFT



A  
A4.1  
PROPOSED FIRST FLOOR FINISH PLAN  
SCALE: 3/16" = 1'-0"

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Architect & Designers

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STRUCTURAL ENGINEER  
Structural Response, LLC  
Scott Nelson, PE  
(978) 866-4249

SHEET TITLE:  
PROPOSED FIRST FLOOR  
FINISH PLAN AND SCHEDULE

CLIENT AND PROJECT ADDRESS:

REV. DATE:  
8/19/2020

SHEET:  
A4.1



| ROOM NUMBER | ROOM NAME      | AREA, INTERIOR (SQ. FT.) | CEILING FINISH HEIGHT | WALL MATERIAL  | FLOOR FINISH   | CEILING FINISH              |
|-------------|----------------|--------------------------|-----------------------|--|--|-----------------------------|
| 201         | HALL           | 122                      | 163 1/2"              | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 202         | HALL           | 55                       | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 203         | WALK-IN CLOSET | 104                      | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 204         | MASTER BDRM 4  | 301                      | 163 1/2"              | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 205         | MASTER BATH 4  | 191                      | 163 1/2"              | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE, GLASS TEMPERED, WT2 - WALL TILE, KACY WHITE LAHAINA          | T5 - TILE FLOORING, KACY WHITE LAHAINA, TILE BACKERBOARD | FIR FRAMING, DRYWALL, WHITE |
| 205a        | W.C.           | 17                       | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | T5 - TILE FLOORING, KACY WHITE LAHAINA, TILE BACKERBOARD | FIR FRAMING, DRYWALL, WHITE |
| 205b        | SHWR           | 26                       | 171 3/4"              | GLASS TEMPERED, WT1 - WALL TILE, KACY WHITE, WT2 - WALL TILE, KACY WHITE LAHAINA                         | T5 - TILE FLOORING, KACY WHITE LAHAINA, TILE BACKERBOARD | FIR FRAMING, DRYWALL, WHITE |
| 206         | LIBRARY        | 246                      | 163 1/2"              | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 207         | BEDROOM 3      | 203                      | 163 1/2"              | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 208         | BATH 3         | 51                       | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | T4 - TILE FLOORING, KACY WHITE HEXAGON, TILE BACKERBOARD | FIR FRAMING, DRYWALL, WHITE |
| 208a        | SHWR           | 12                       | 106"                  | WT1 - WALL TILE, KACY WHITE  | T4 - TILE FLOORING, KACY WHITE HEXAGON, TILE BACKERBOARD | FIR FRAMING, DRYWALL, WHITE |
| 209         | OFFICE/BEDRM 2 | 136                      | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 209a        | CL             | 20                       | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 210         | BATH 2         | 30                       | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE, GLASS TEMPERED, WT3 - WALL TILE, KACY WHITE HEXAGON          | T4 - TILE FLOORING, KACY WHITE HEXAGON, TILE BACKERBOARD | FIR FRAMING, DRYWALL, WHITE |
| 210a        | SHWR           | 21                       | 106"                  | GLASS TEMPERED, WT1 - WALL TILE, KACY WHITE, WT3 - WALL TILE, KACY WHITE HEXAGON                         | T4 - TILE FLOORING, KACY WHITE HEXAGON, TILE BACKERBOARD | FIR FRAMING, DRYWALL, WHITE |
| 211         | HALL           | 131                      | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 212         | LAUNDRY        | 125                      | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | T3 - TILE FLOORING, SONORA, TILE BACKERBOARD             | FIR FRAMING, DRYWALL, WHITE |
| 213         | HALL           | 79                       | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 214         | WALK-IN CLOSET | 59                       | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 215         | BEDROOM 1      | 227                      | 136"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE   | OAK 8" PLANK - DARK                                      | FIR FRAMING, DRYWALL, WHITE |
| 216         | BATH 1         | 77                       | 106"                  | BEN MOORE OR EQUAL: OC-65 - CHANTILLY LACE, DRYWALL, GLASS TEMPERED, WT3 - WALL TILE, KACY WHITE HEXAGON | T4 - TILE FLOORING, KACY WHITE HEXAGON, TILE BACKERBOARD | FIR FRAMING, DRYWALL, WHITE |
| 216a        | SHWR 1         | 17                       | 106"                  | GLASS TEMPERED, WT1 - WALL TILE, KACY WHITE, WT3 - WALL TILE, KACY WHITE HEXAGON                         | T4 - TILE FLOORING, KACY WHITE HEXAGON, TILE BACKERBOARD | FIR FRAMING, DRYWALL, WHITE |

WALL LEGEND:

- 10" FOUNDATION WALL
- 10" FOUNDATION WALL WITH FIN. 2X4 INTERIOR WALL
- EXTERIOR 2X6 WALL
- INTERIOR 2X4 WALL
- INTERIOR 2X6 WALL
- INTERIOR 2X6 FIRE WALL
- EXTERIOR RAILING

DIMENSIONS:

- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE OF STUD TO OUTSIDE OF STUD
- ALL INTERIOR DIMENSIONS ARE TAKEN FROM STUD TO STUD UNLESS OTHERWISE NOTED

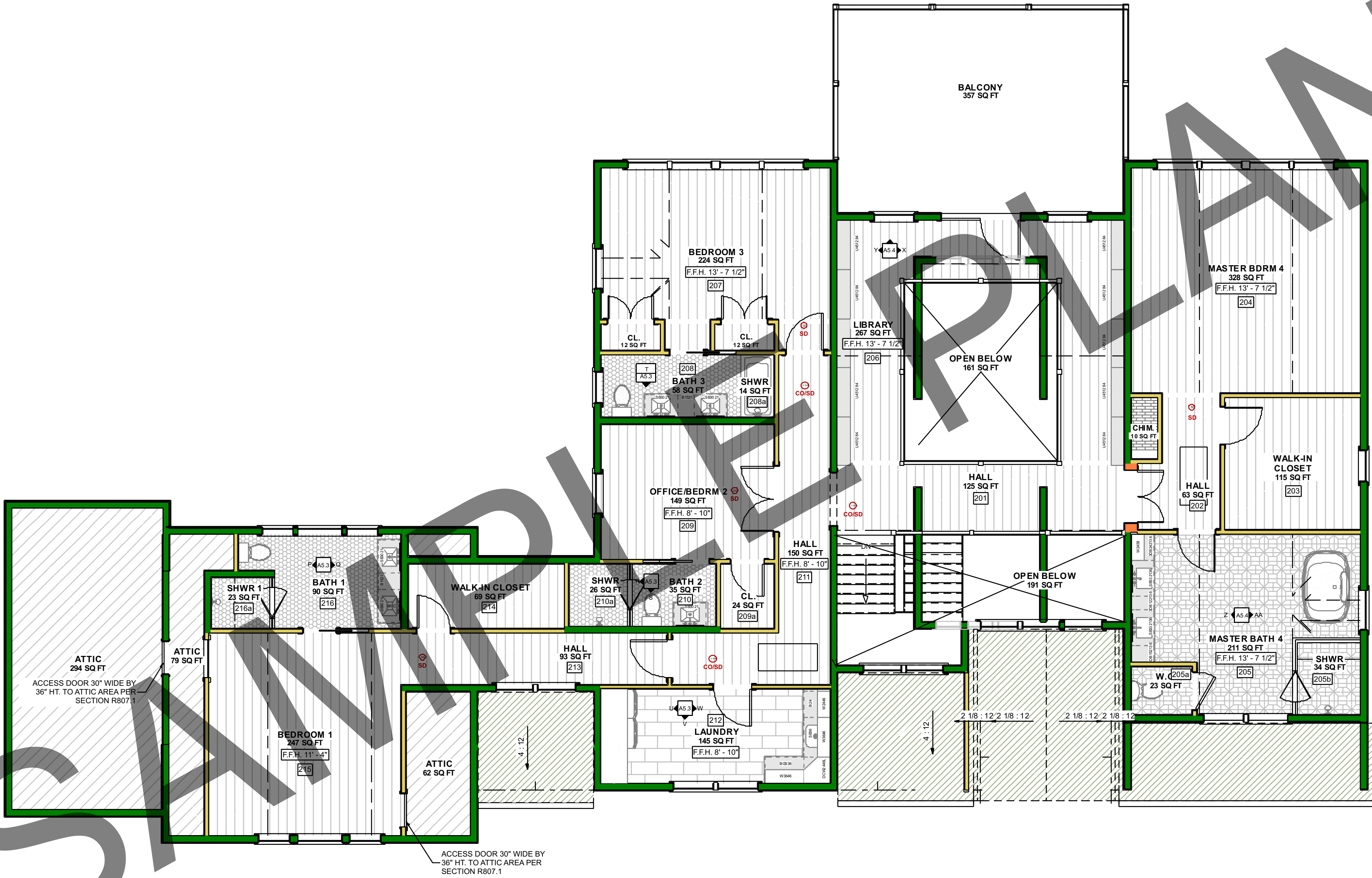
FINISH NOTES: SECOND FLOOR

- WALL AND CEILING FINISH:**
- SHERWIN WILLIAMS OR BENJAMIN MOORE PAINT TO BE USED, WALLS WILL BE PAINTED OFF-WHITE AND CEILINGS WILL BE PAINTED WHITE. APPLY TWO (2) COATS OF FINISH PAINT.
  - BEDROOM 1, BEDROOM 3, MASTER BEDROOM 4 AND MASTER BATH WILL HAVE CATHEDRAL CEILINGS.
  - WALL TILE ON ALL SHOWERS, BATH SURROUND IN BATH 3, AND PARTIAL HEIGHT ON WALLS SURROUNDING MASTER TUB
  - FULL HEIGHT TILE BACKSLASHES IN LAUNDRY.
- INTERIOR TRIM:**
- INTERIOR TRIM WILL BE WINDSORONE.
  - BASEBOARD: WINDSORONE CLASSICAL CRAFTSMAN BASE BUILDUP (WOBM001+WOBM003) BASEBOARD WILL BE 7 1/4" IN HEIGHT
  - WINDOW AND DOOR CASING WILL USE THE WINDSORONE S4SSE TRIM BOARDS. WINDOWS WILL HAVE INTERIOR LINTELS USING 5/4 X 4 TRIM BOARDS. DOORS WILL HAVE INTERIOR LINTELS USING 5/4 X 4 AND 1 X2 TRIM BOARDS.

- FLOORING:**
- WOOD FLOORING WILL BE 8" CARLISLE WIDE PLANK FLOORS. THIS WILL BE LOCATED IN ALL FINISHED ROOMS EXCEPT WHERE THERE IS TILE.
  - TILE FLOORING IN LAUNDRY, ALL BATHROOMS AND SHOWERS
- CABINETS AND COUNTERTOPS:**
- CABINETS: WHITE WITH OIL BRUSHED BRONZE HARDWARE, SHAKER DOOR STYLE
  - BATHROOM COUNTERTOPS: TO BE SELECTED
  - LAUNDRY COUNTERTOPS: TO BE SELECTED

- INTERIOR PAINTING:** TO BE TWO COATS OF FINISH ON PRE-PRIMED WOOD AND ONE COAT PRIMER AND TWO COATS OF FINISH ON UNPRIMED WOOD. PRIMER AND TWO COATS OF FINISH ON WALLS AND CEILINGS. THIS INCLUDES PAINTING OF BUILT-INS.
- FINISH HARDWARE:** ALL INTERIOR DOOR HARDWARE
- CLOSET SHELVING:** TO BE SELECTED
- TOILET AND BATH ACCESSORIES:** ALL TOILET AND BATH ACCESSORIES TO BE SELECTED
- MIRRORS:** ALL MIRRORS 42" TALL BY THE WIDTH OF EACH VANITY OR PEDESTAL WITH POLISHED EDGES
- SHOWER DOORS:** TO BE SELECTED
- CENTRAL VACUUM SYSTEM:** TO BE SELECTED
- SECURITY ALARM SYSTEM:** SMOKE, CARBON MONOXIDE, RATE-OF-HEAT RISE DETECTION PER CODE WITH SECURITY ALARM SYSTEM.
- DECKING:** AT BALCONY TO BE PRESSURE TREATED 2X4 SLEEPERS 16" ON CENTER WITH AZEK DECKING AND STAINLESS STEEL CABLE RAIL SYSTEM WITH 4X4 MAHOGANY POSTS, 2X6/2X4 MAHOGANY TOP RAIL ON BALCONY.
- APPLIANCES:** TO BE SELECTED

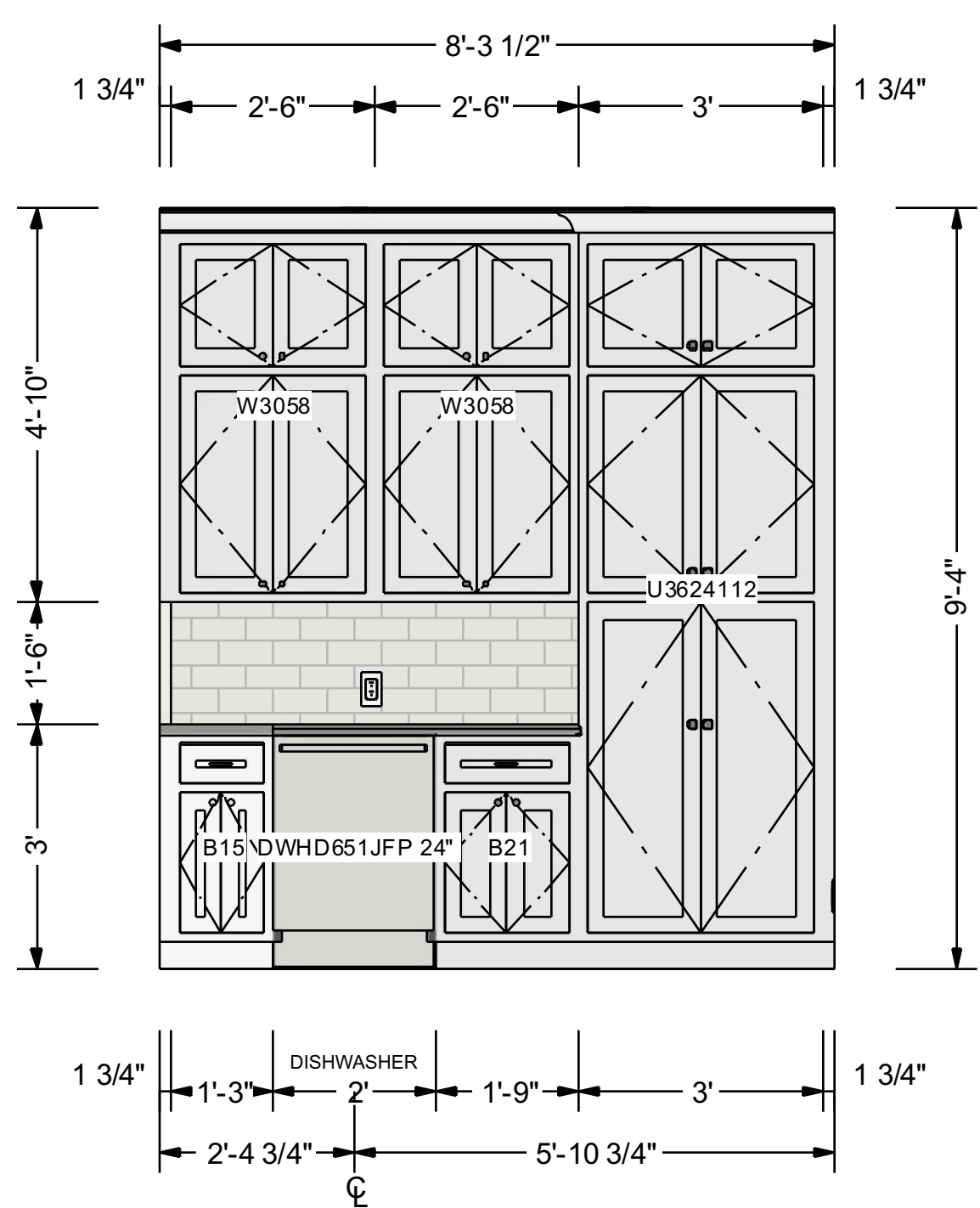
SECOND FLOOR TOTAL FINISHED AREA:  
2,560 SQFT



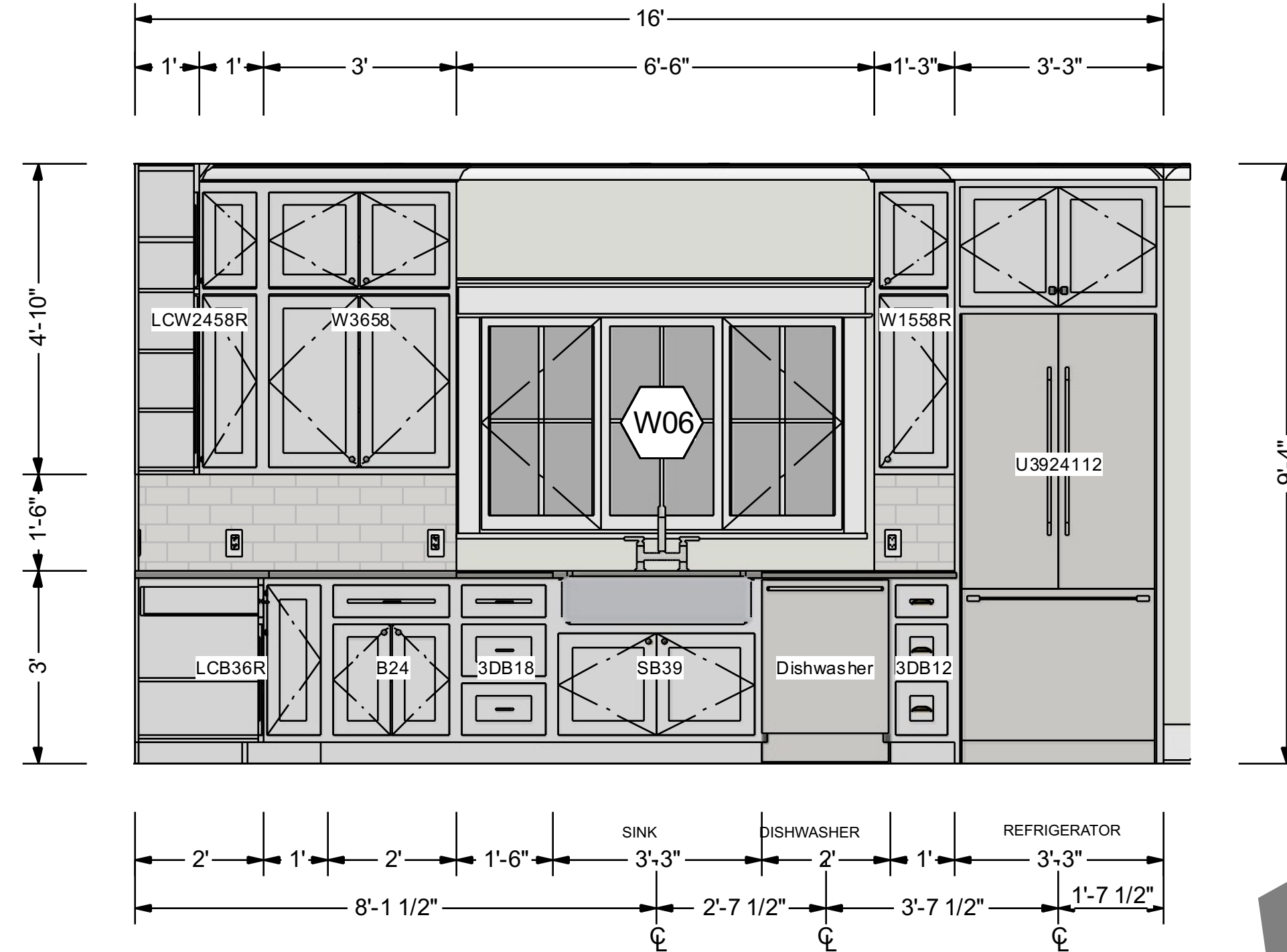
A  
A4.2  
PROPOSED SECOND FLOOR FINISH PLAN  
SCALE: 3/16" = 1'-0"



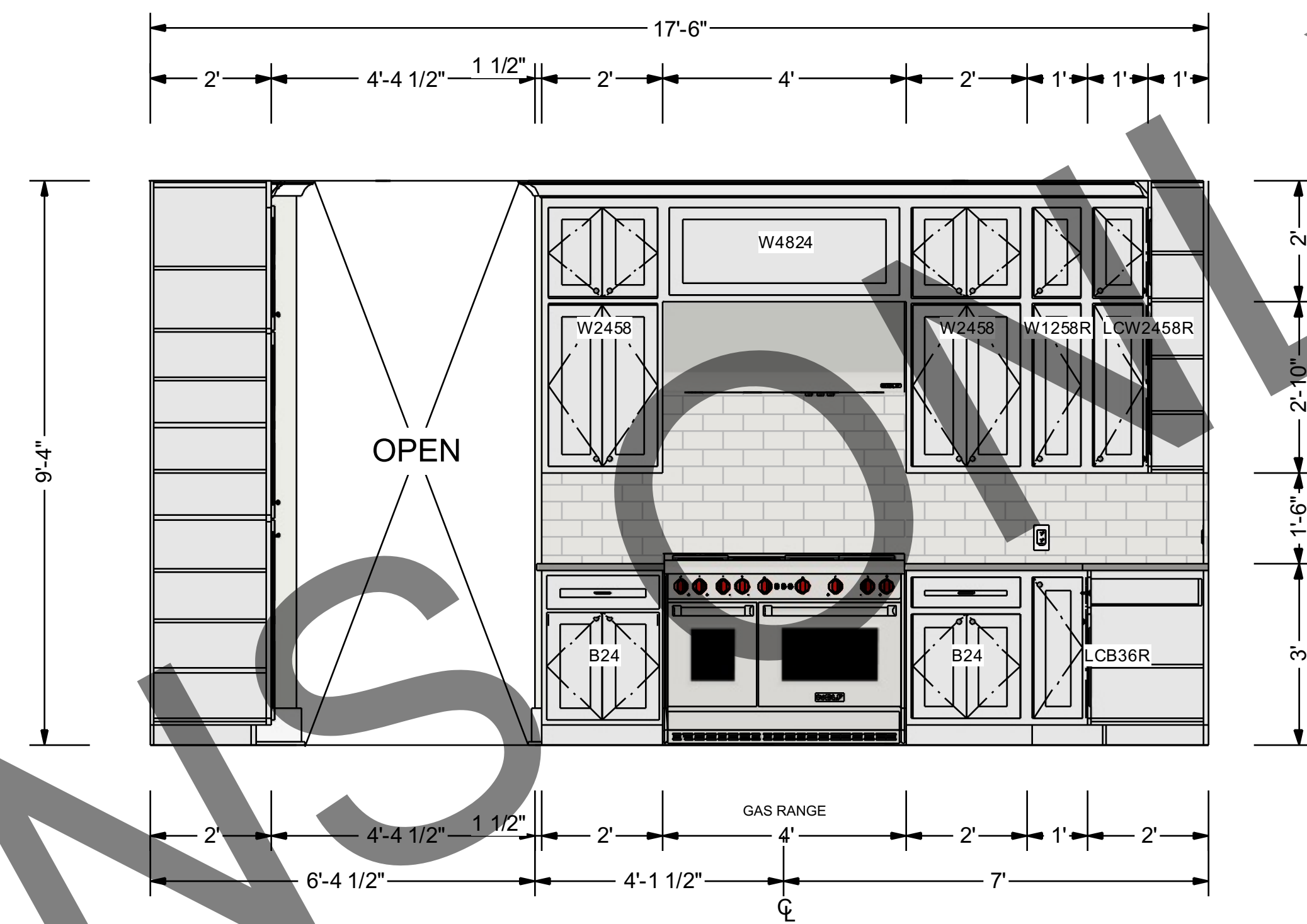
NOTE: FINAL KITCHEN DESIGN AND LAYOUT FINALIZED BY KITCHEN DESIGNER



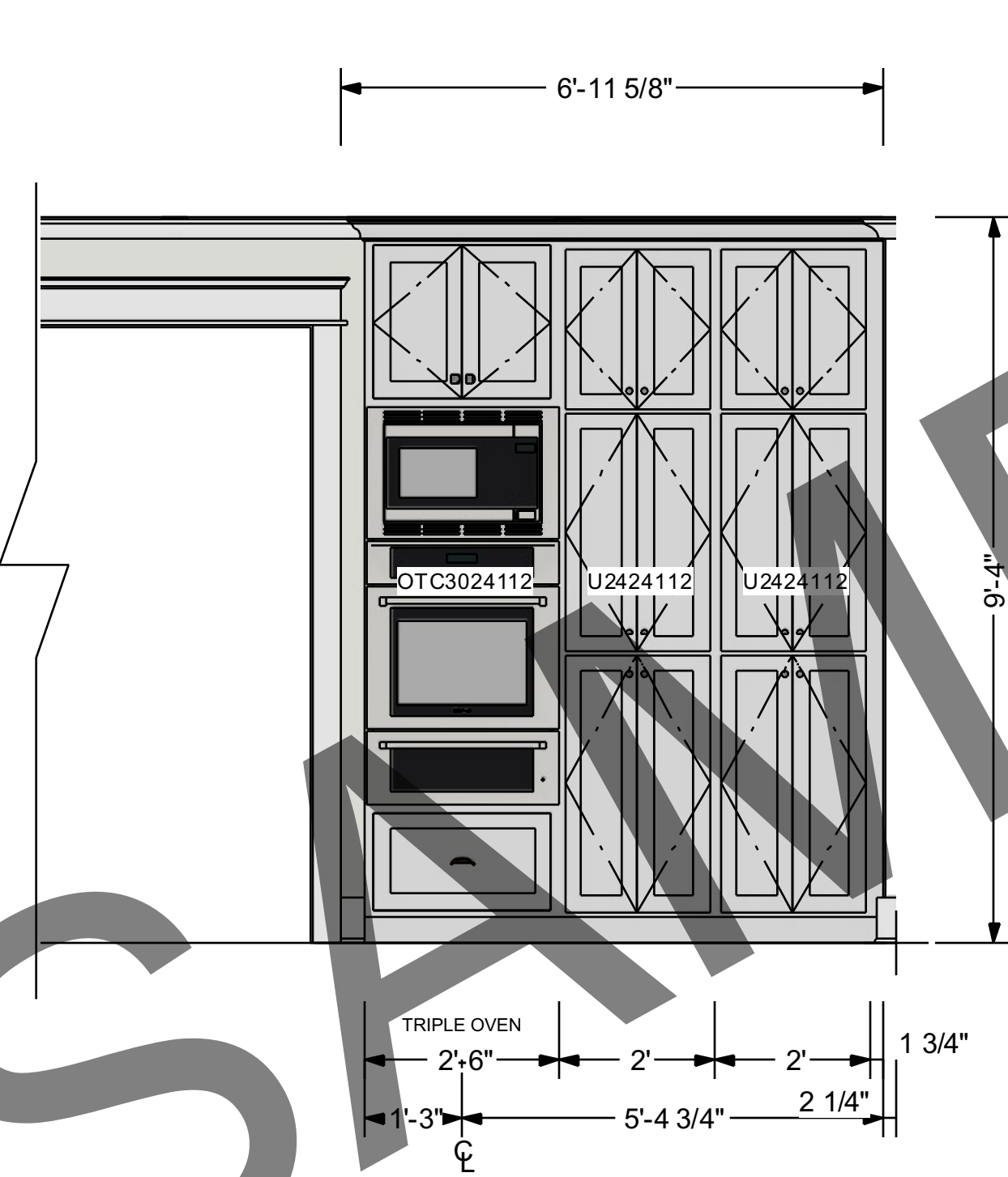
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A5.1 PANTRY ELEVATION  
SCALE: 1/2" = 1'-0"



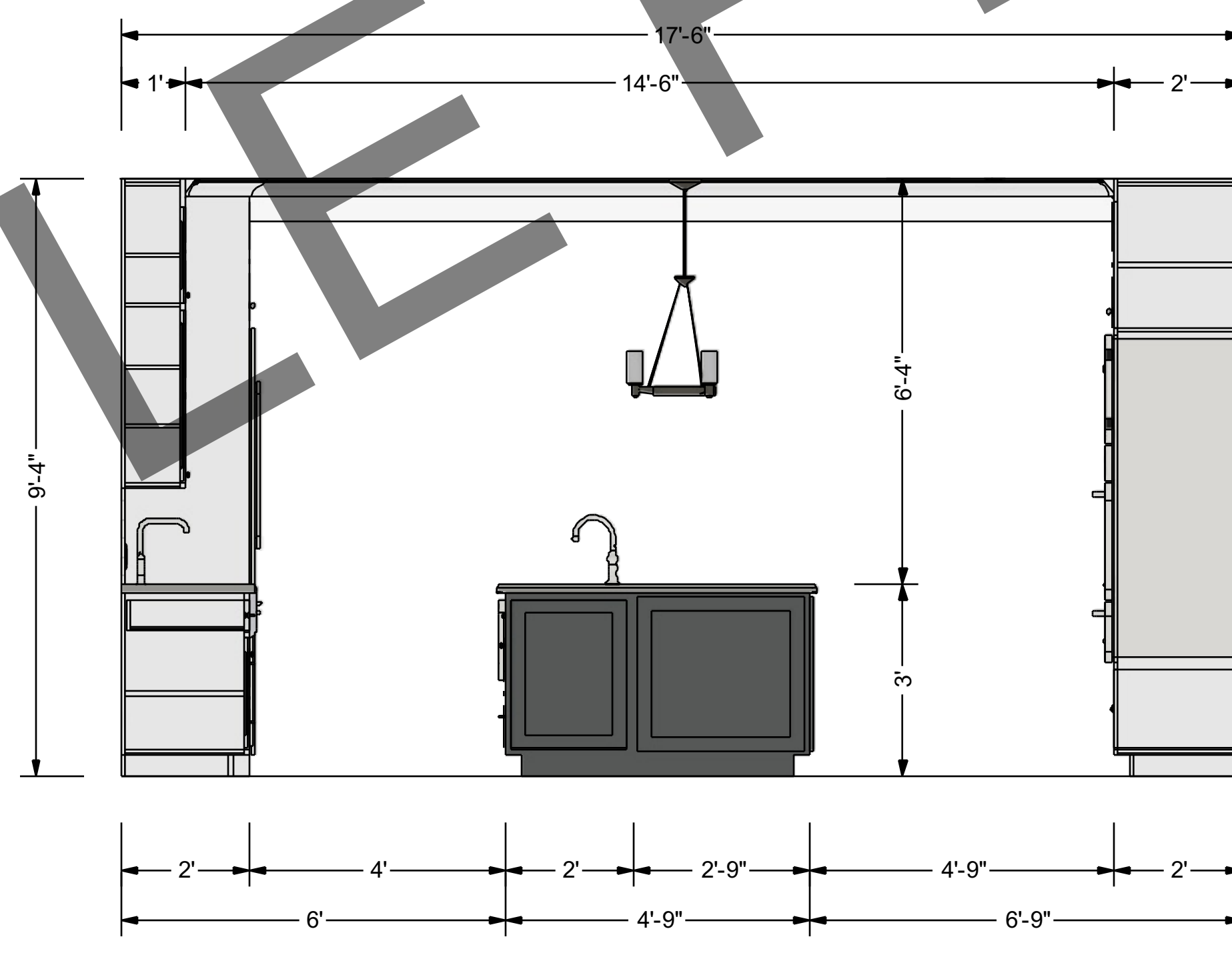
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A5.1 KITCHEN ELEVATIONS  
SCALE: 1/2" = 1'-0"



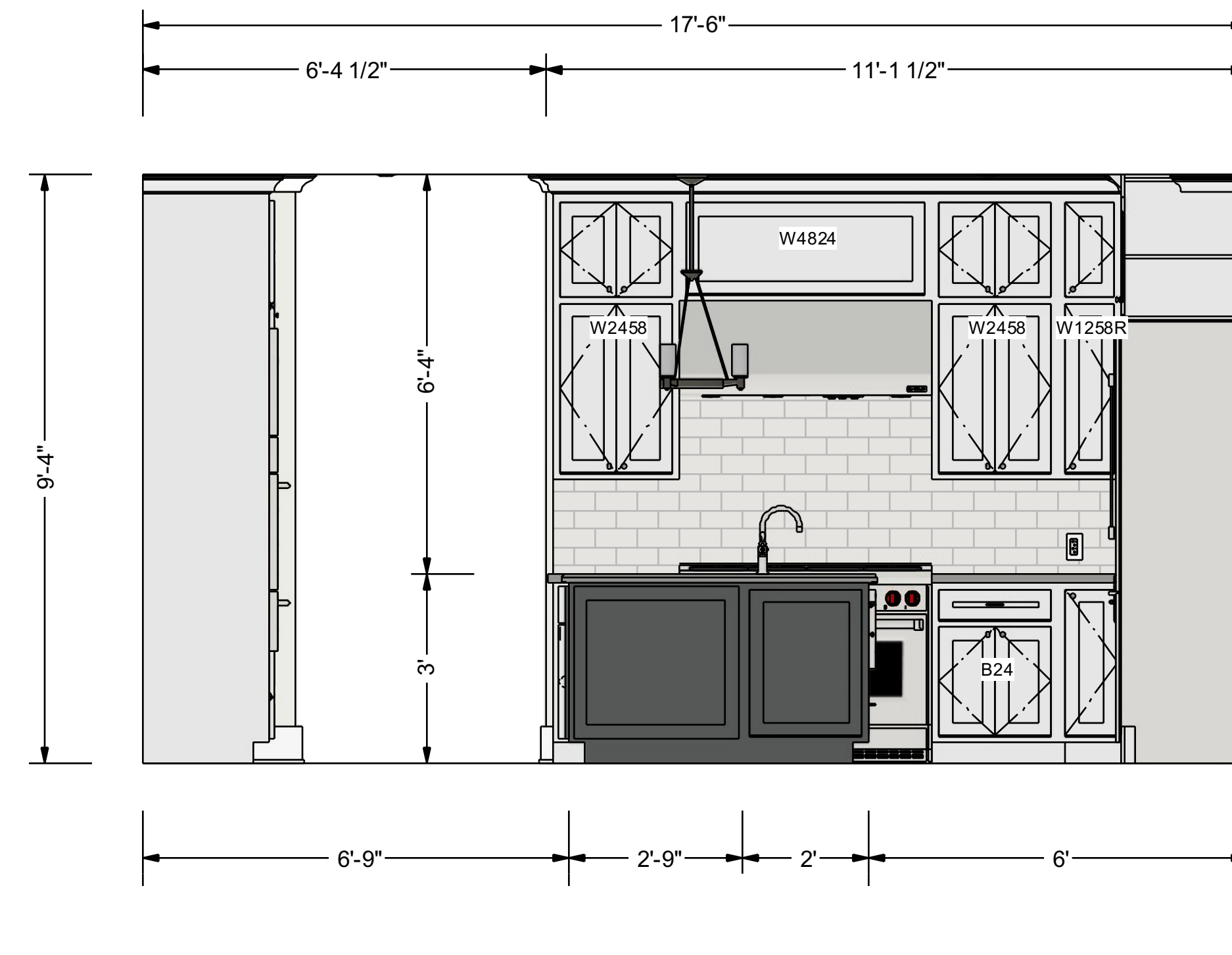
C  
A5.1



D  
A5.1 KITCHEN ELEVATIONS  
SCALE: 1/2" = 1'-0"



E  
A5.1 KITCHEN/ISLAND ELEVATIONS  
SCALE: 1/2" = 1'-0"



F  
A5.1

GMT Home Designs, Inc.  
60 Pleasant Street  
Suite 10 C  
Ashland, MA 01721  
(508) 881-7992  
gmthomedesigns.com

CONTRACTOR/MANAGEMENT CO.  
Black Anchor Realty  
5230 Washington Street  
Suite 201  
West Roxbury, MA 02132  
(781) 326-6280 office  
Black Anchor REAL ESTATE

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Structural Response, LLC  
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SHEET TITLE:  
INTERIOR ELEVATIONS  
A THRU F

CLIENT AND PROJECT ADDRESS:

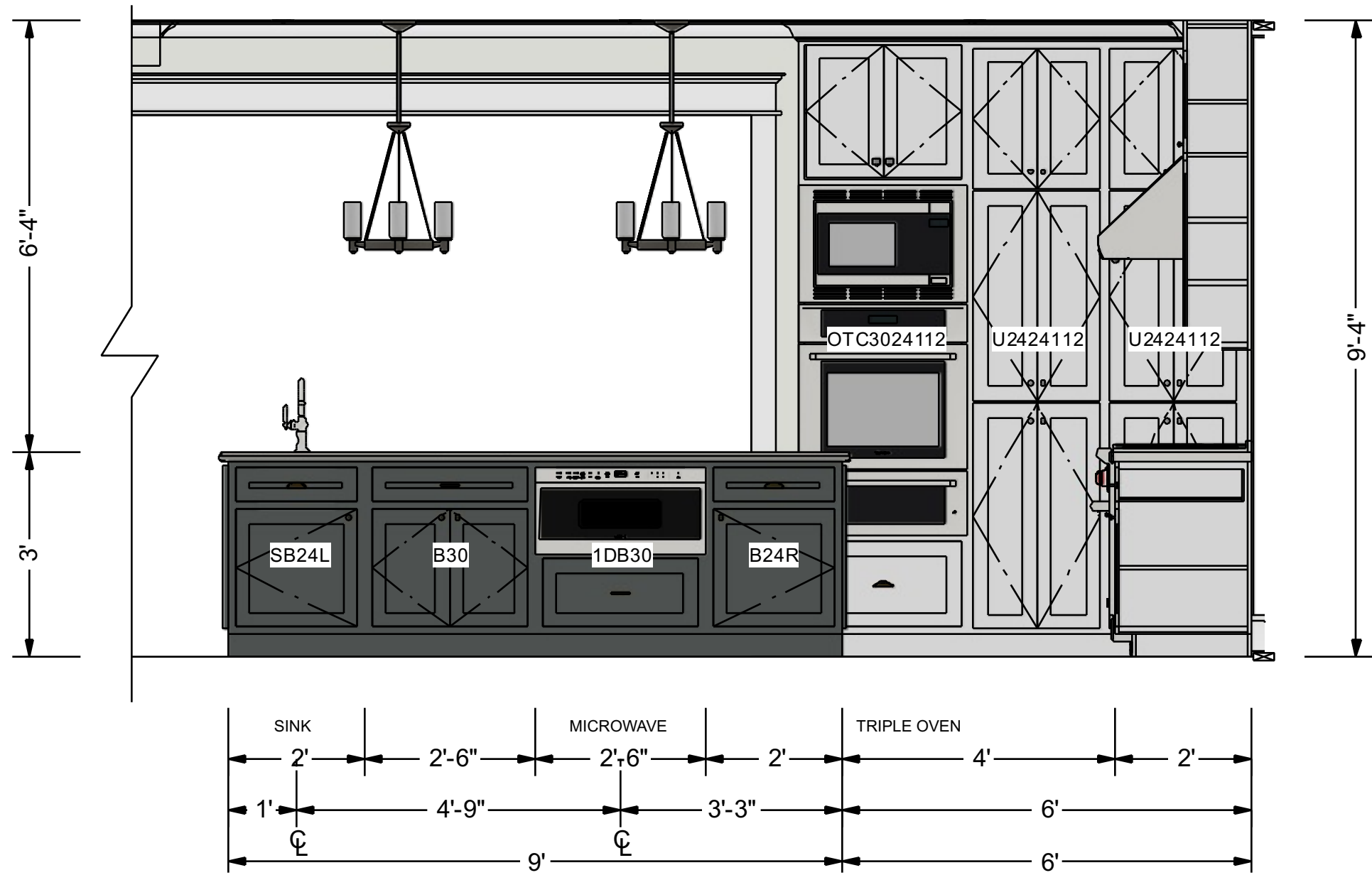
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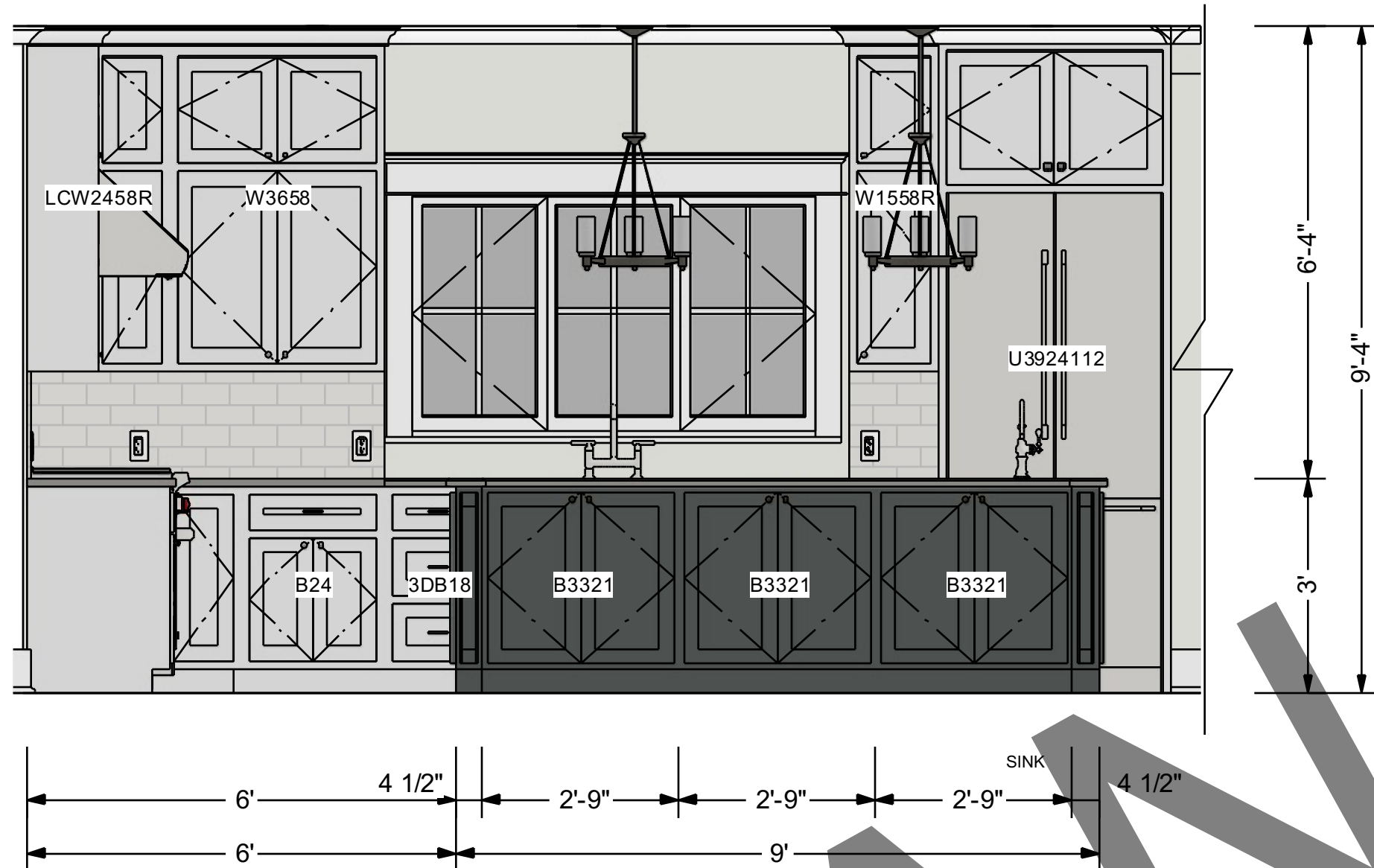
A5.1



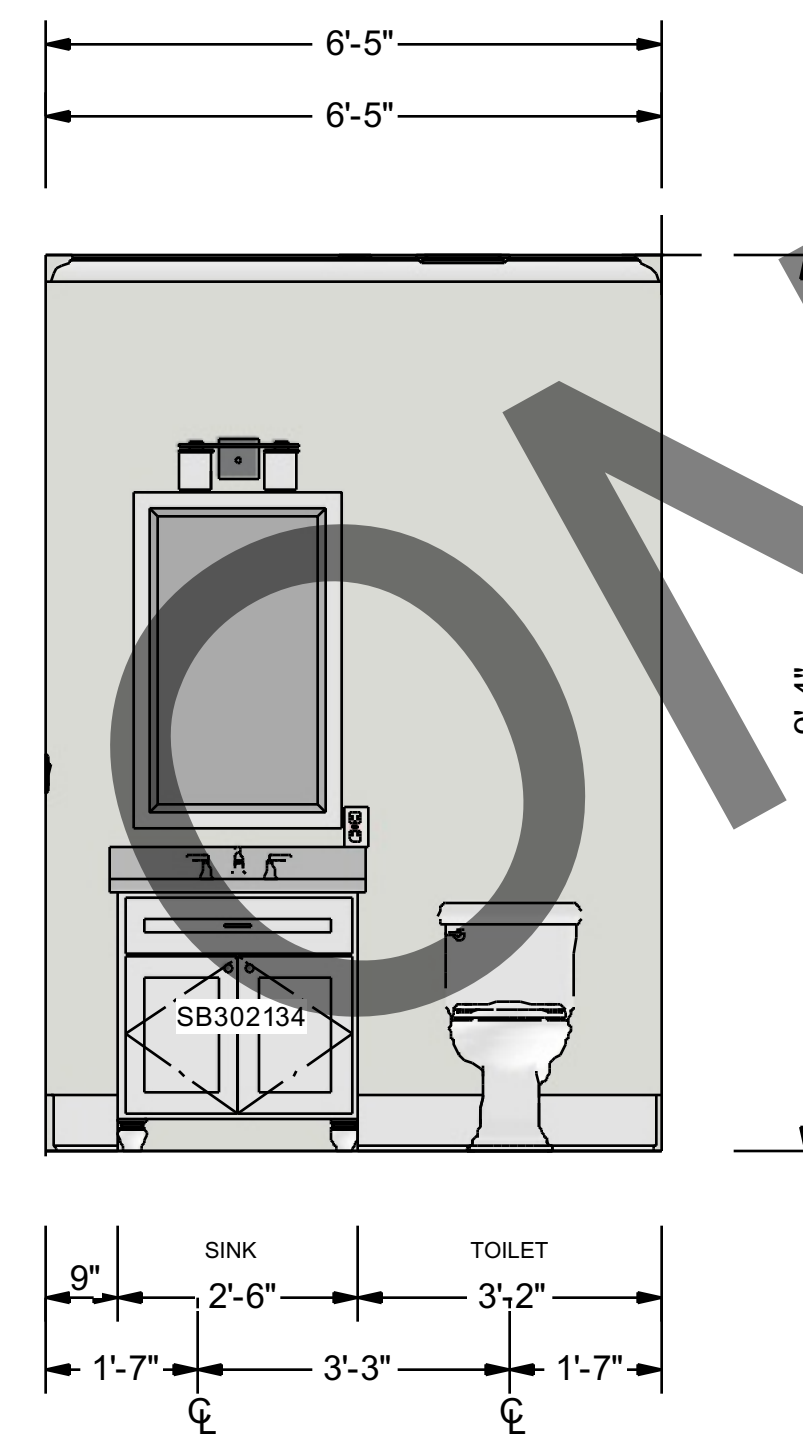
NOTE: FINAL BATH DESIGN AND LAYOUT FINALIZED BY BATH DESIGNER



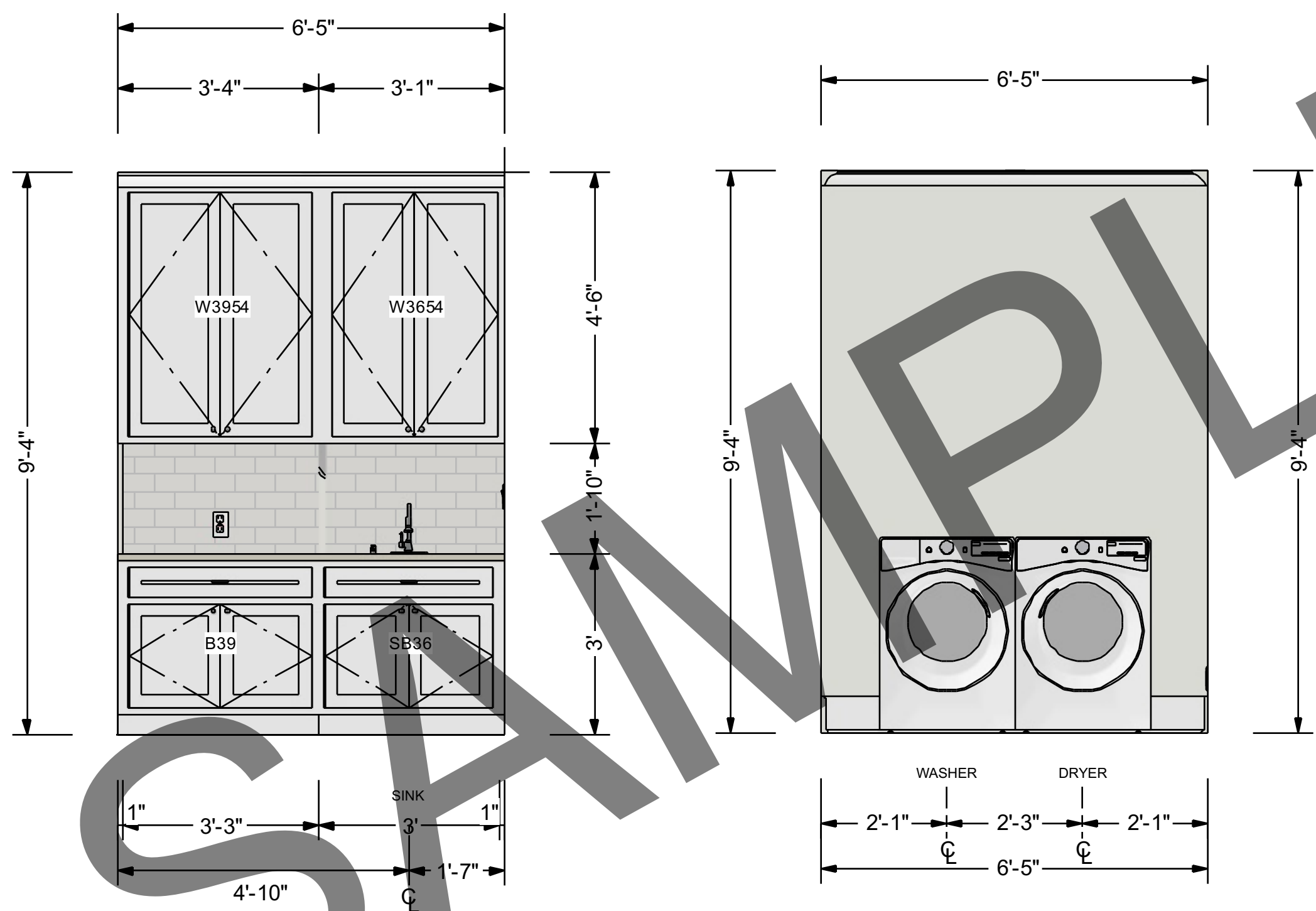
G  
A5.2 KITCHEN/ISLAND ELEVATIONS  
SCALE: 1/2" = 1'-0"



H  
A5.2

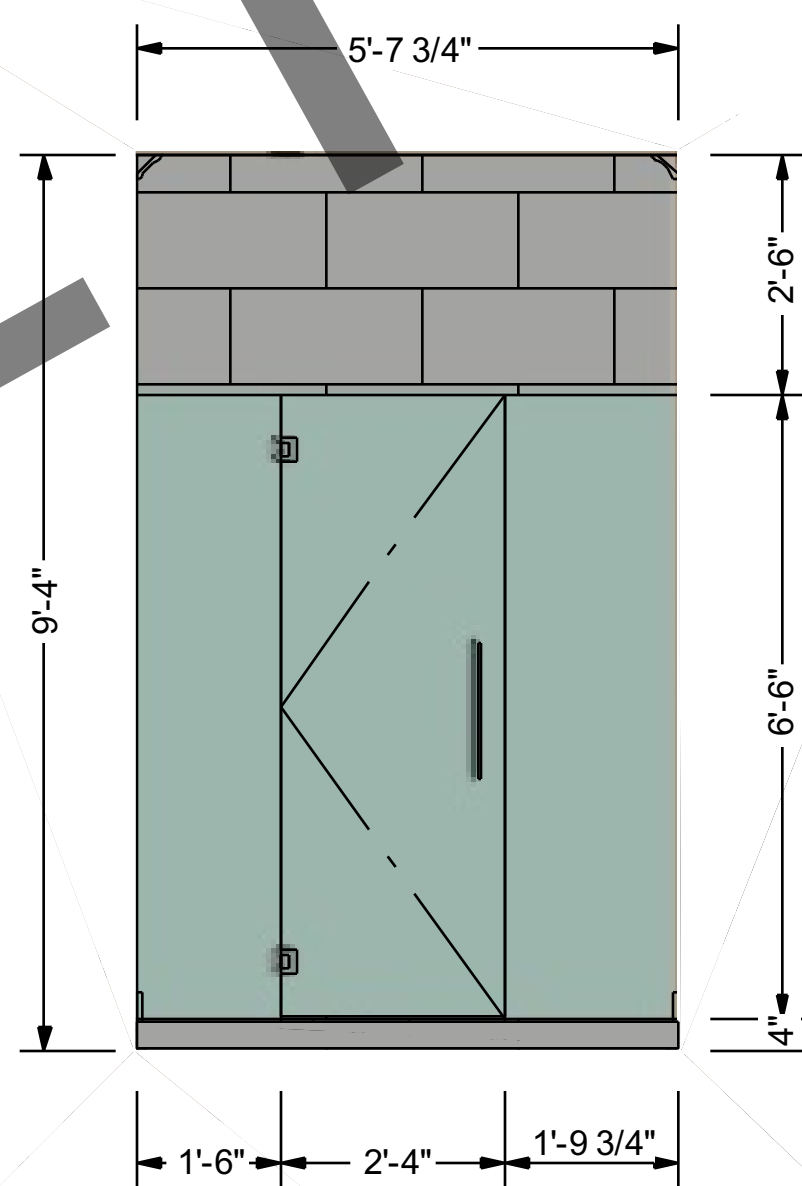


I  
A5.2 PWDR RM ELEVATION  
SCALE: 1/2" = 1'-0"

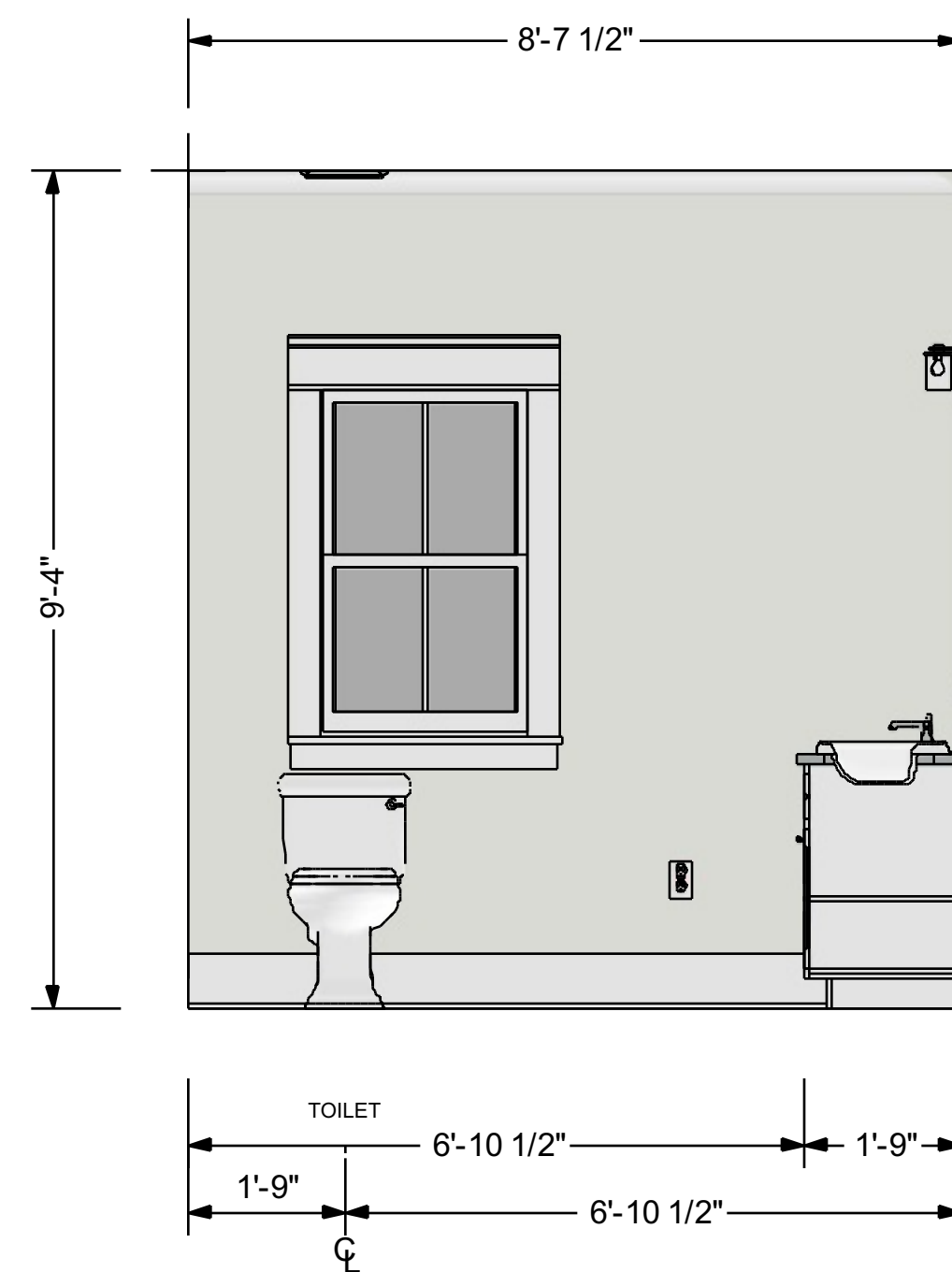


J  
A5.2 LAUNDRY ELEVATIONS  
SCALE: 1/2" = 1'-0"

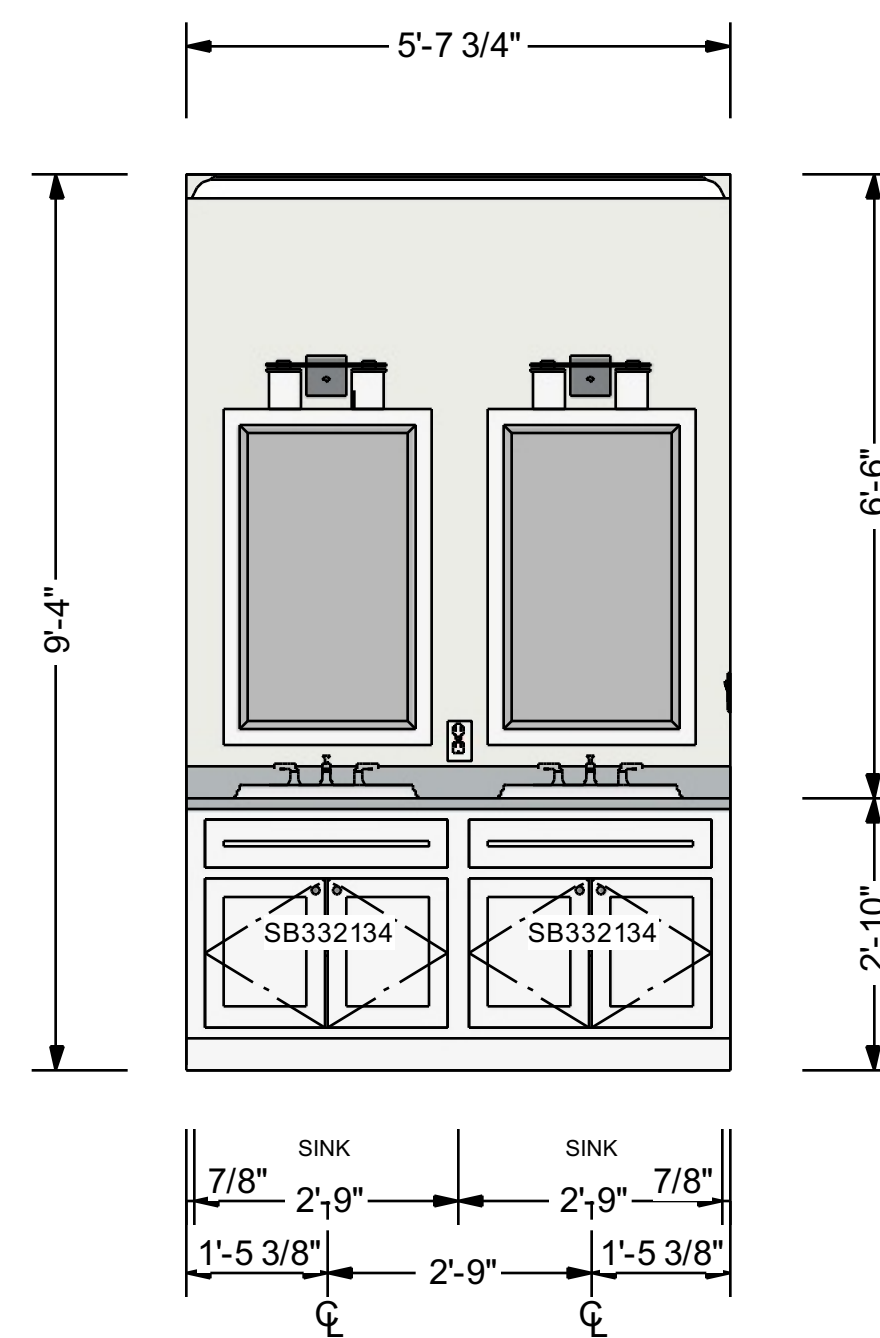
K  
A5.2



L  
A5.2 JR MSTR BATH  
ELEVATIONS  
SCALE: 1/2" = 1'-0"



M  
A5.2



N  
A5.2

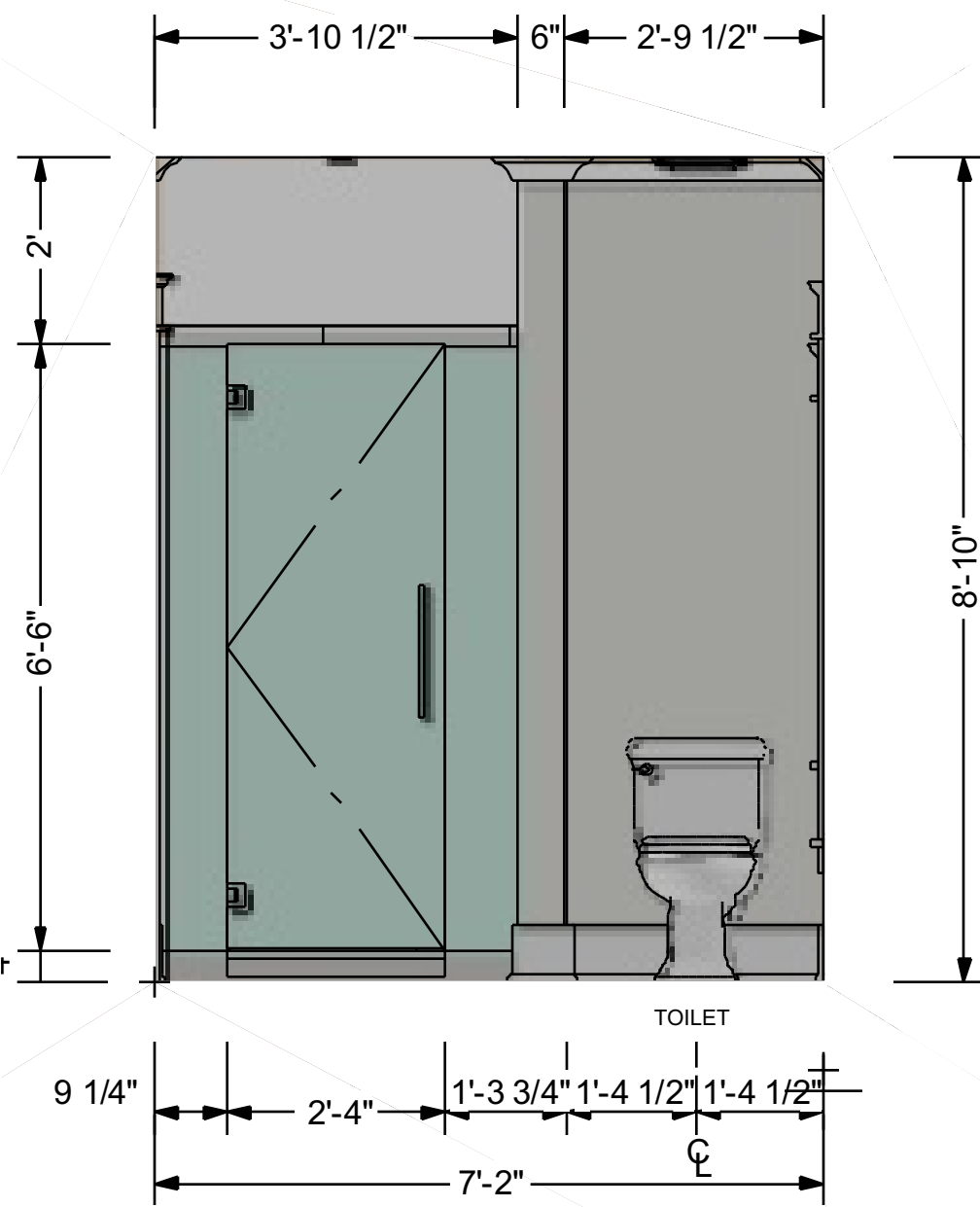


NOTE: FINAL BATH DESIGN AND LAYOUT FINALIZED BY BATH DESIGNER



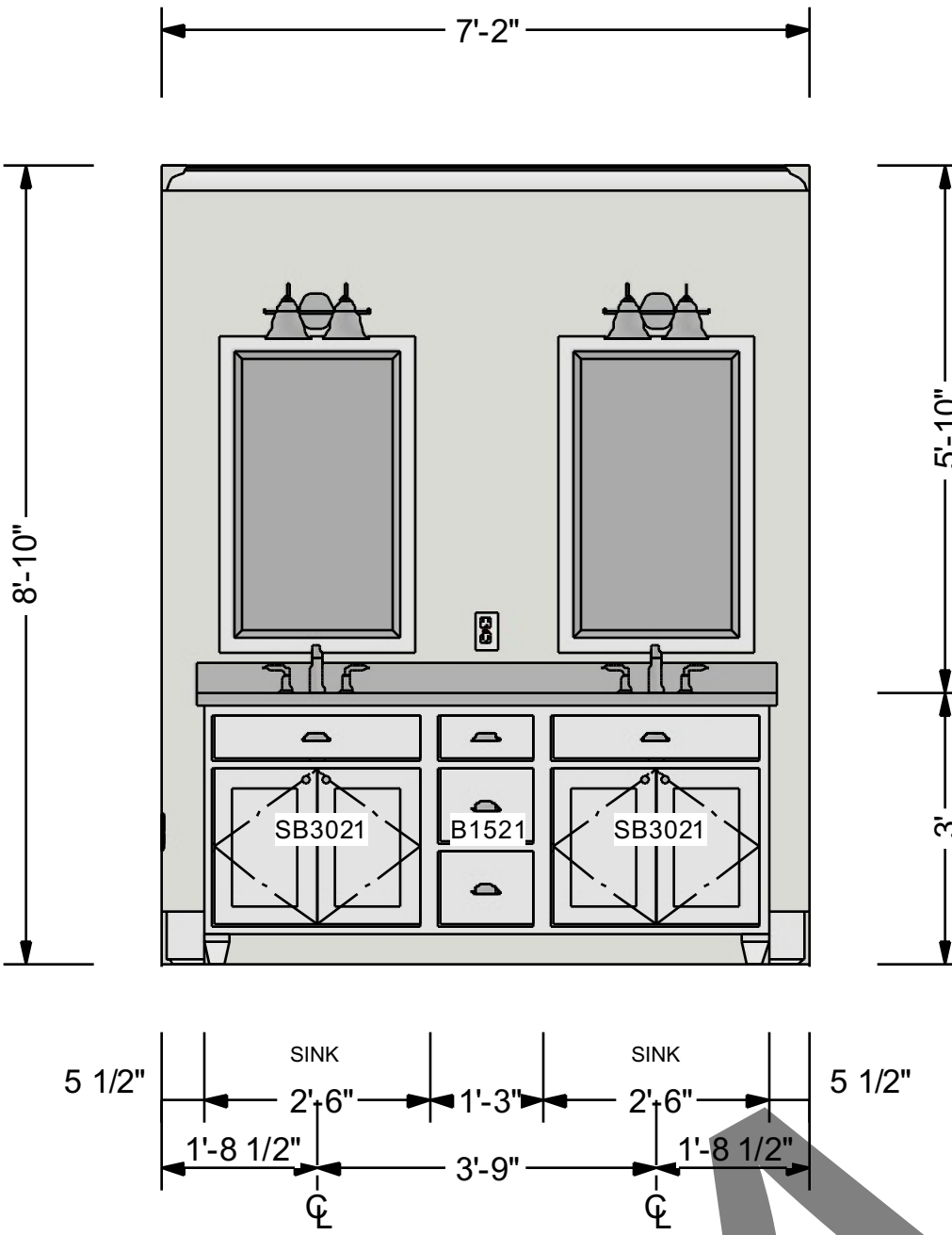
O  
A5.3

LIVING BAR ELEVATION  
SCALE: 1/2" = 1'-0"



P  
A5.3

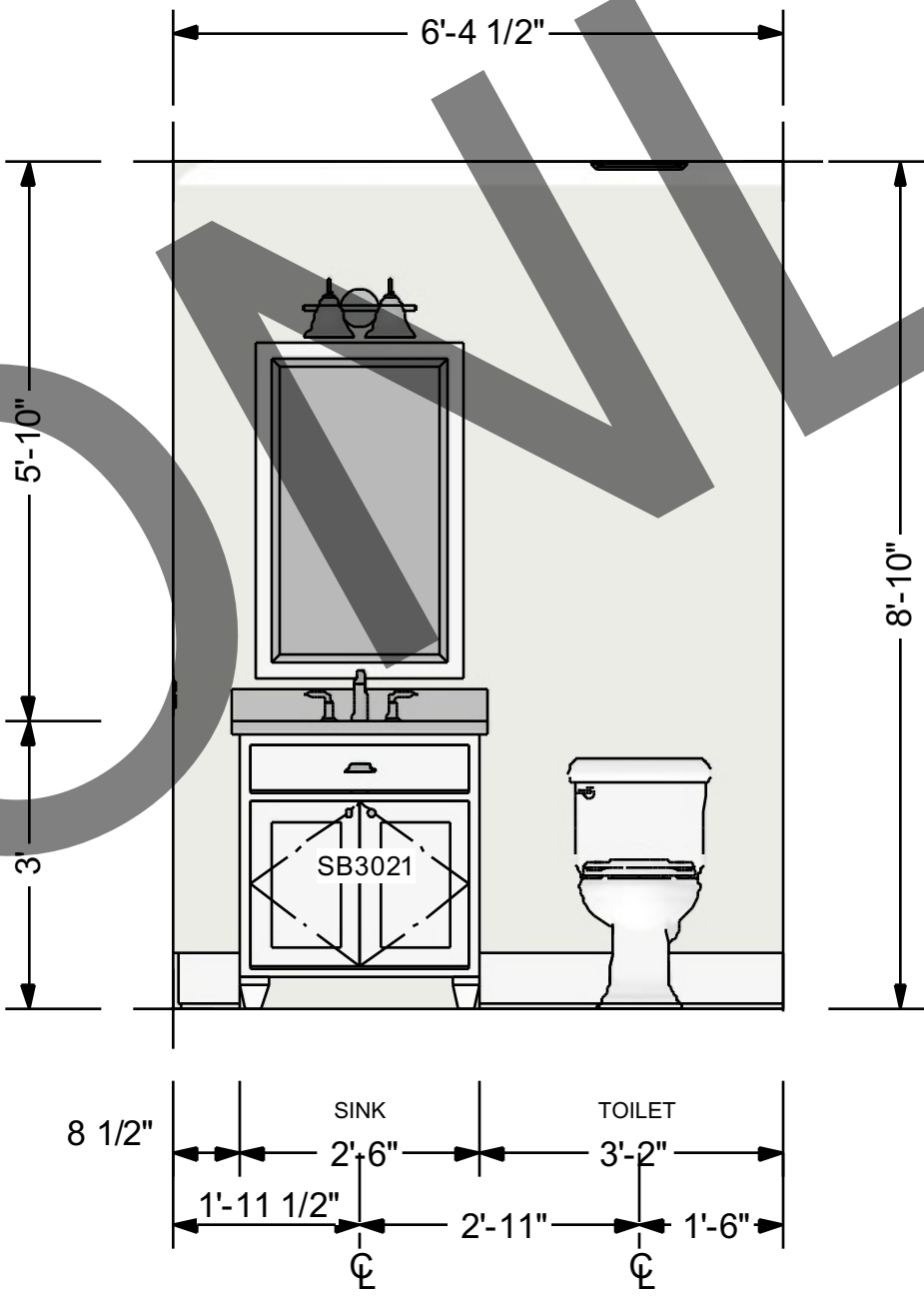
BATH 1 ELEVATIONS  
SCALE: 1/2" = 1'-0"



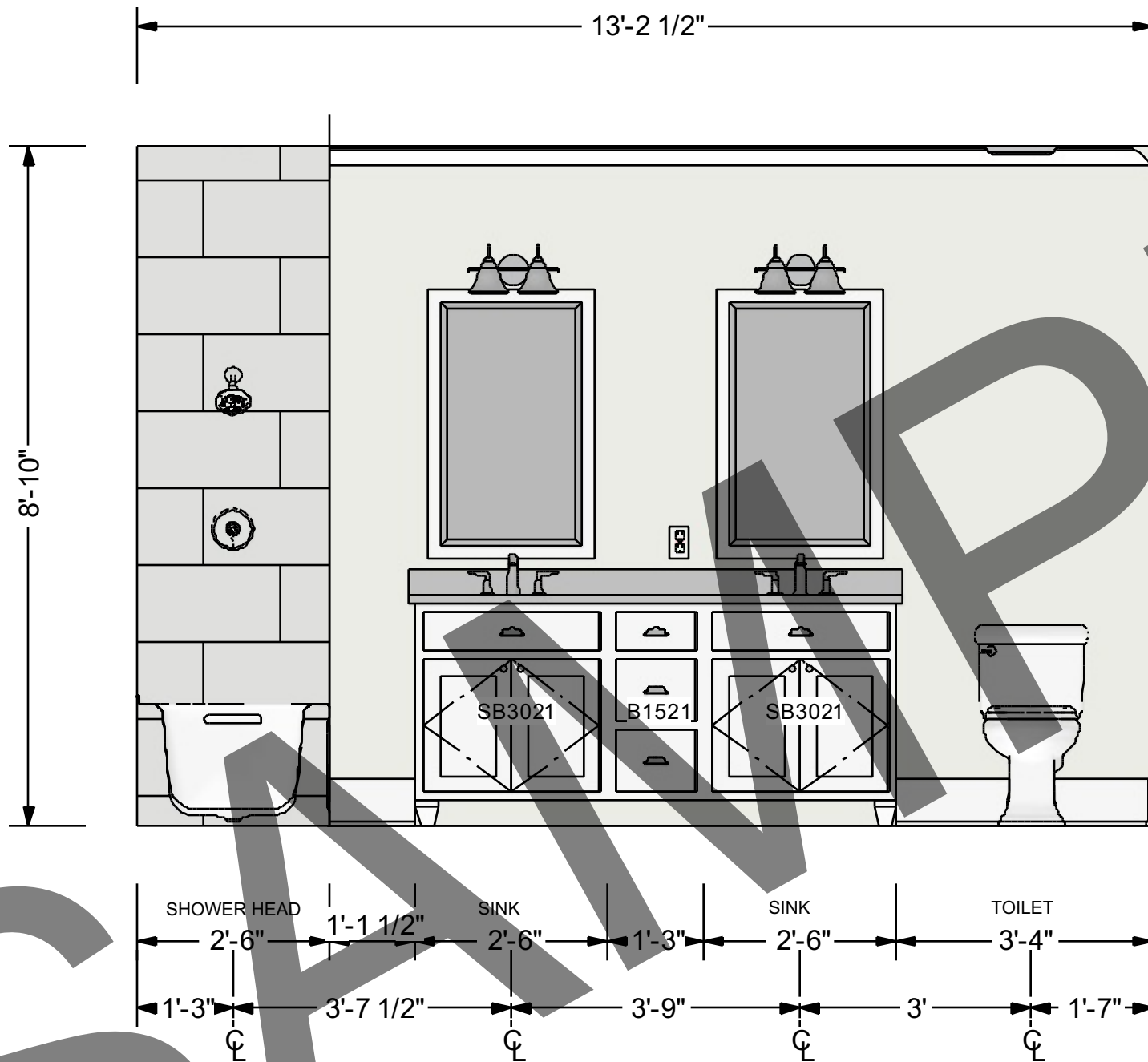
Q  
A5.3

R  
A5.3

BATH 2 ELEVATIONS  
SCALE: 1/2" = 1'-0"

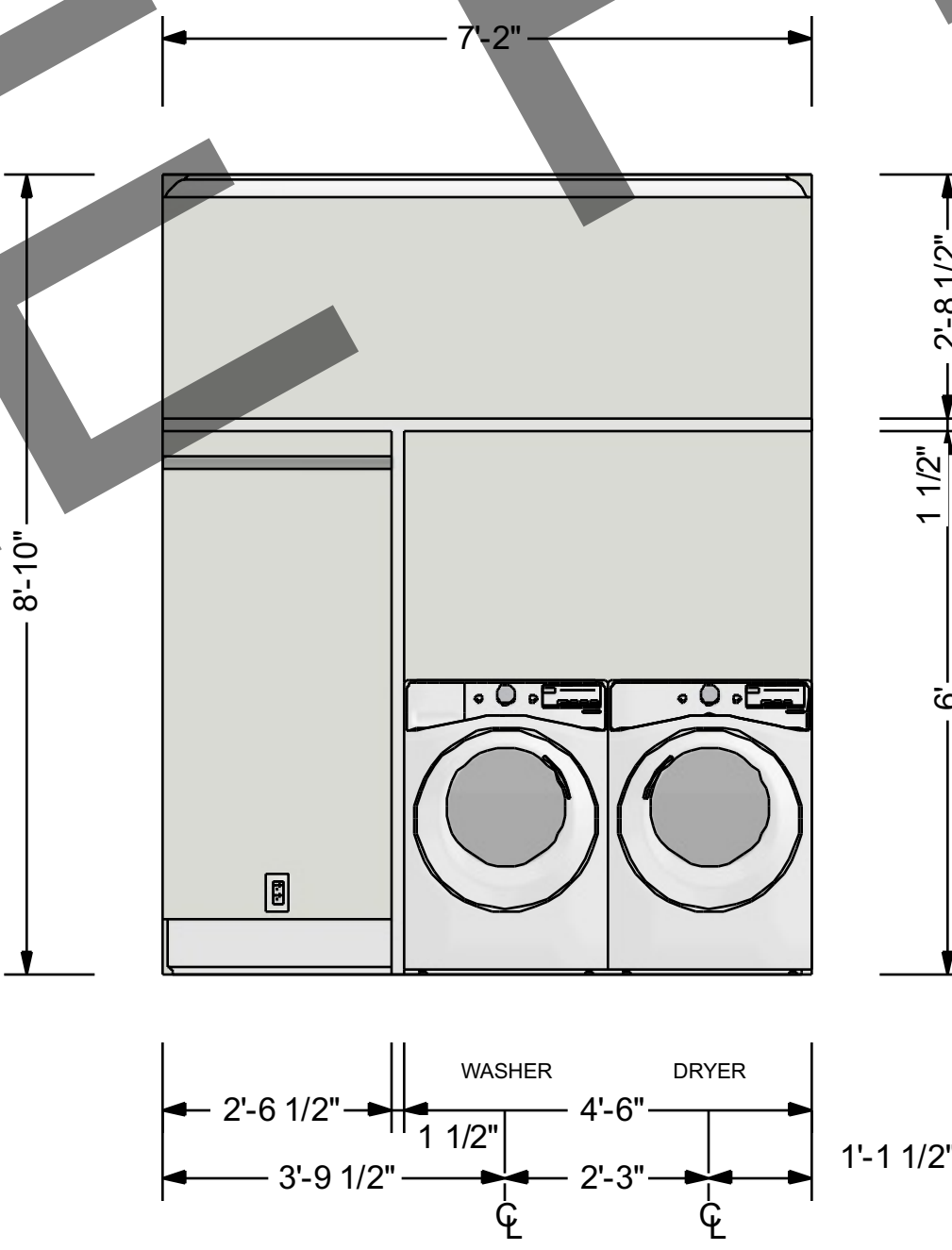


S  
A5.3



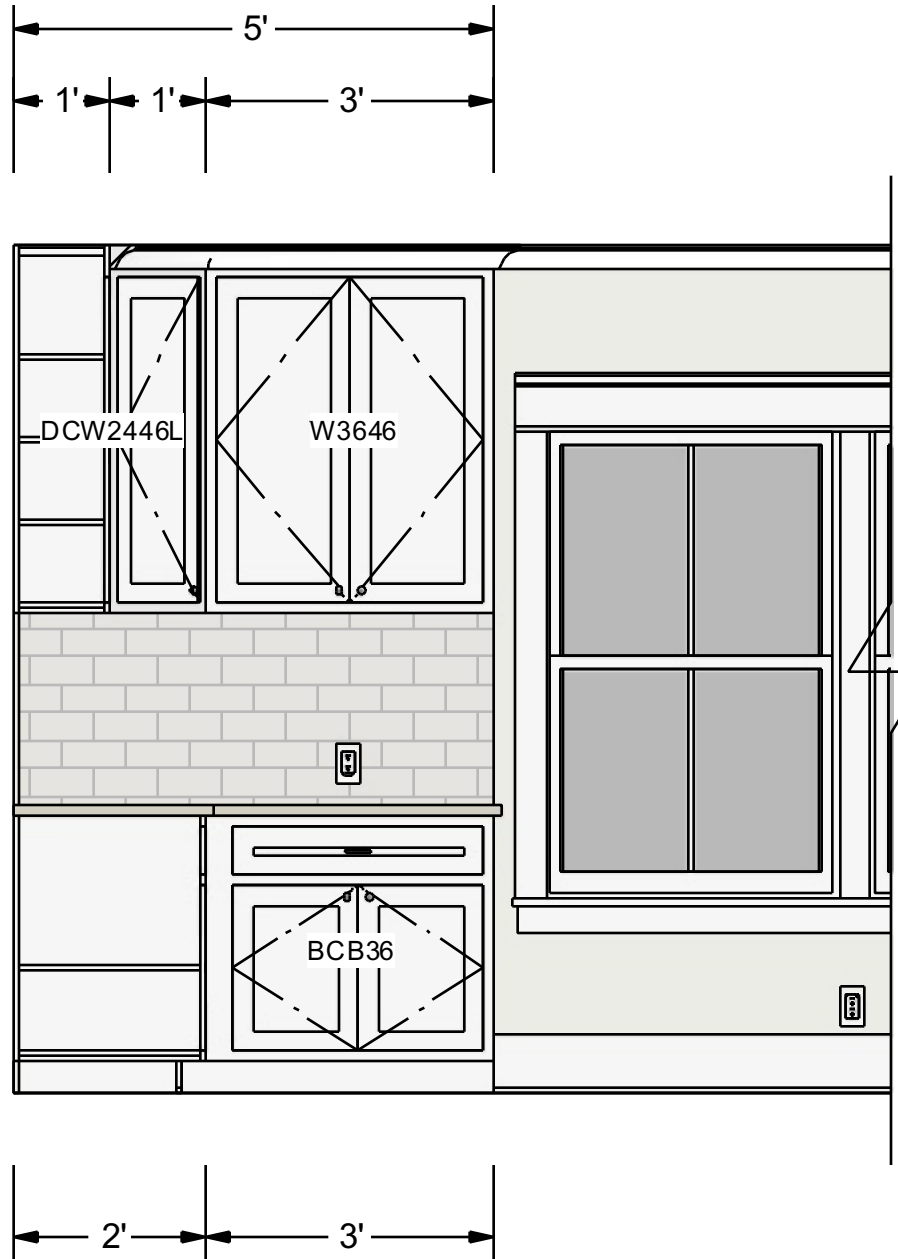
T  
A5.3

BATH 3 ELEVATION  
SCALE: 1/2" = 1'-0"

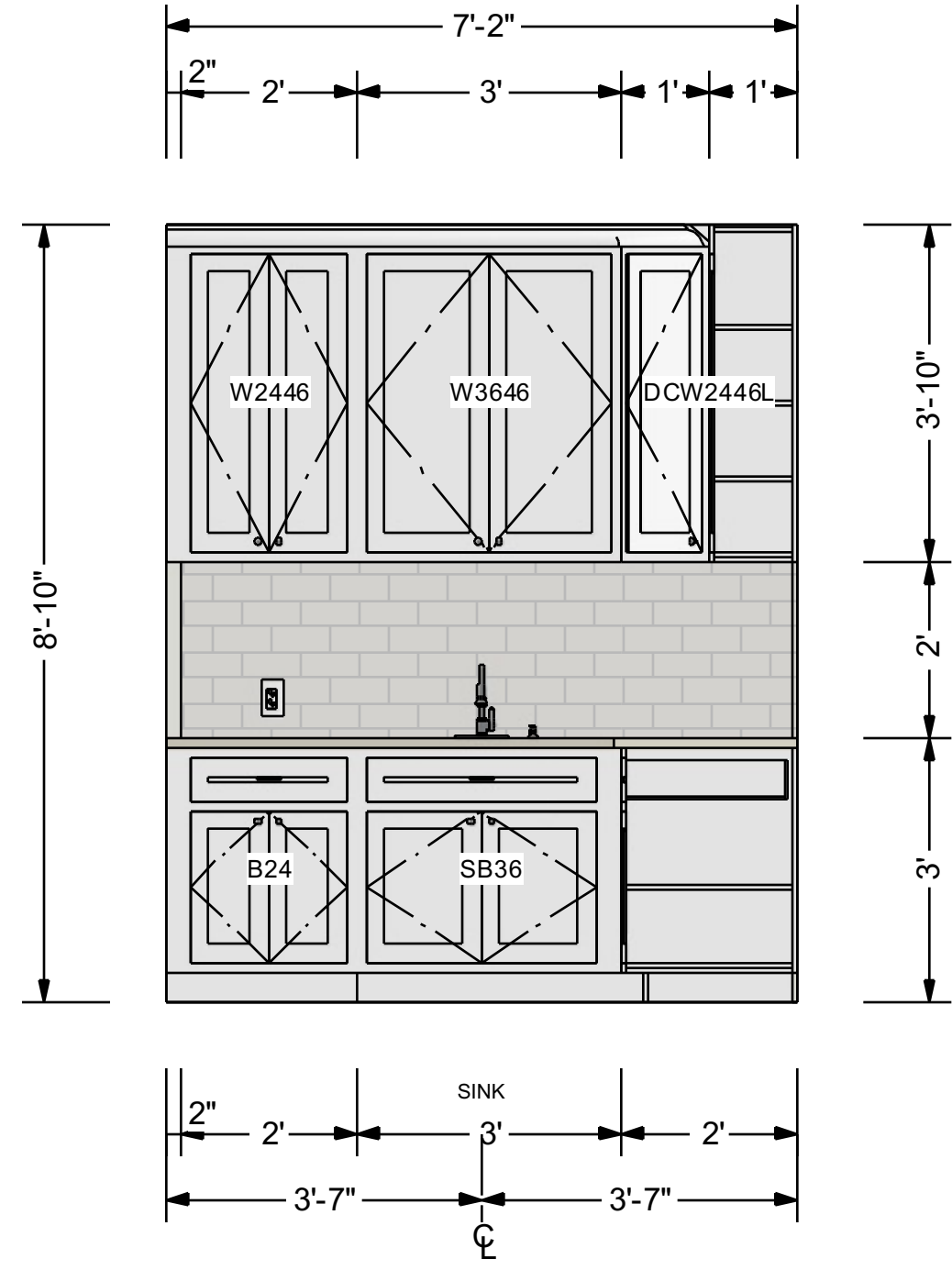


U  
A5.3

LAUNDRY ELEVATIONS  
SCALE: 1/2" = 1'-0"



V  
A5.3



W  
A5.3

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SHEET TITLE:  
**INTERIOR ELEVATIONS  
O THRU W**

CLIENT AND PROJECT ADDRESS:

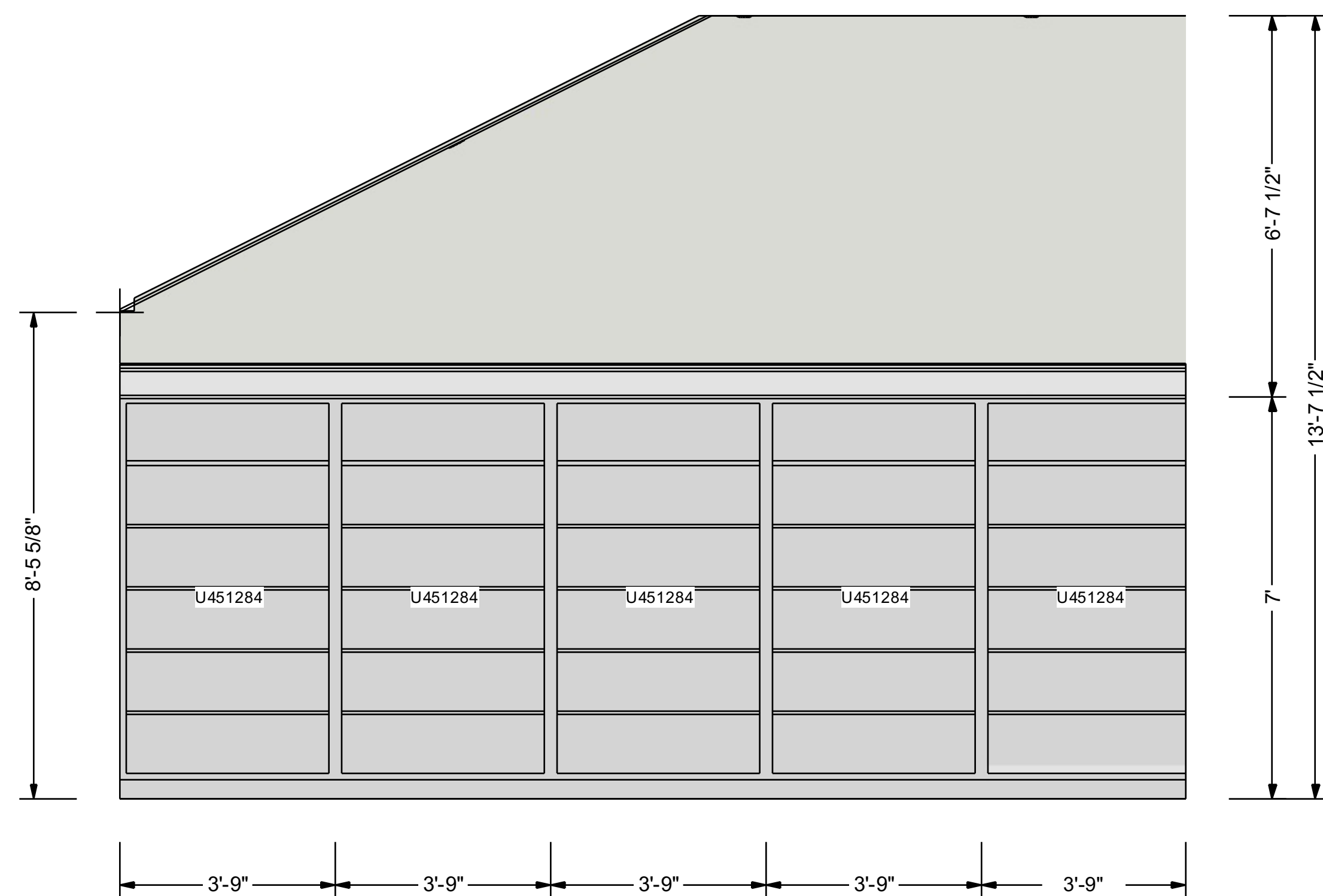
REV. DATE:  
**8/19/2020**

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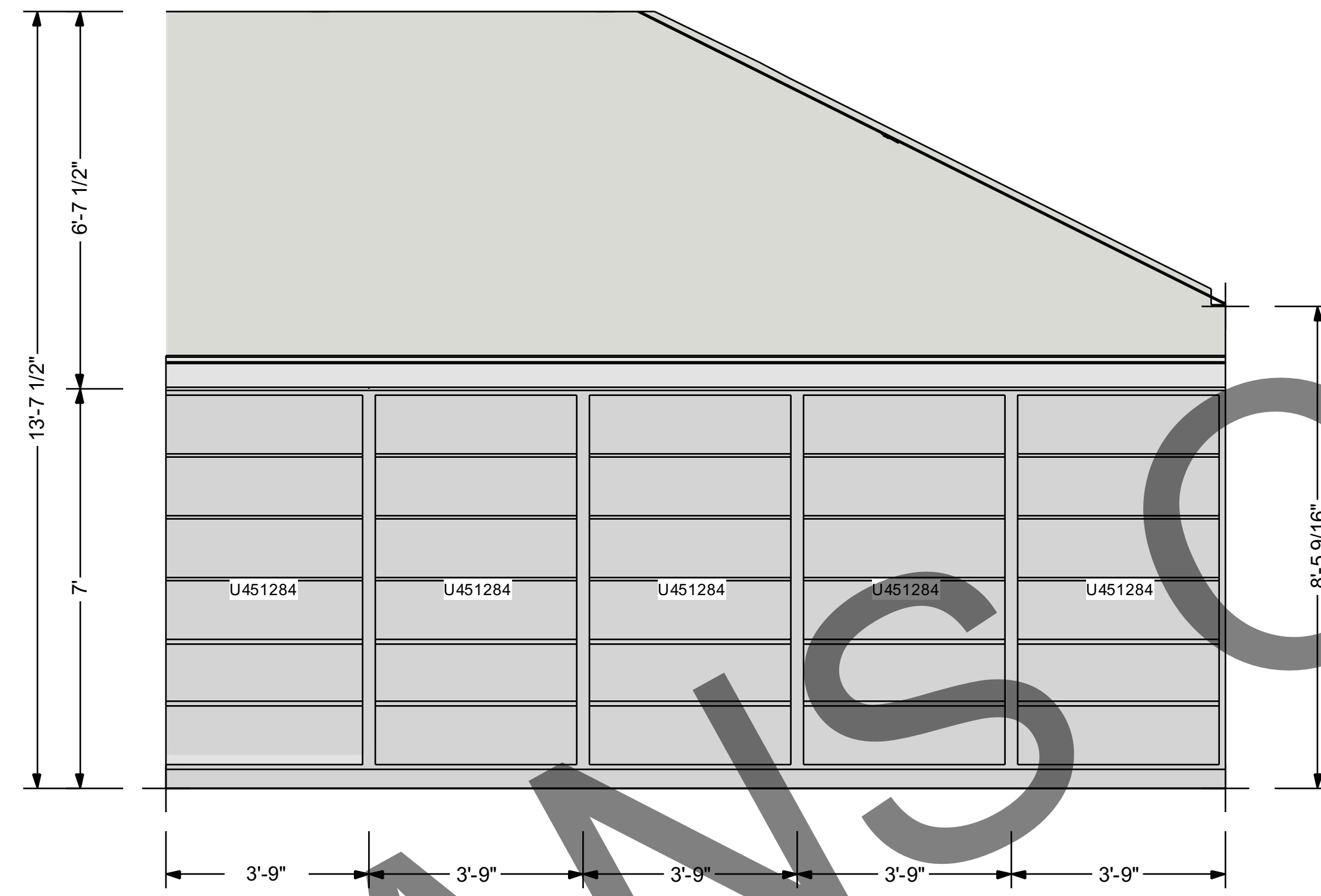
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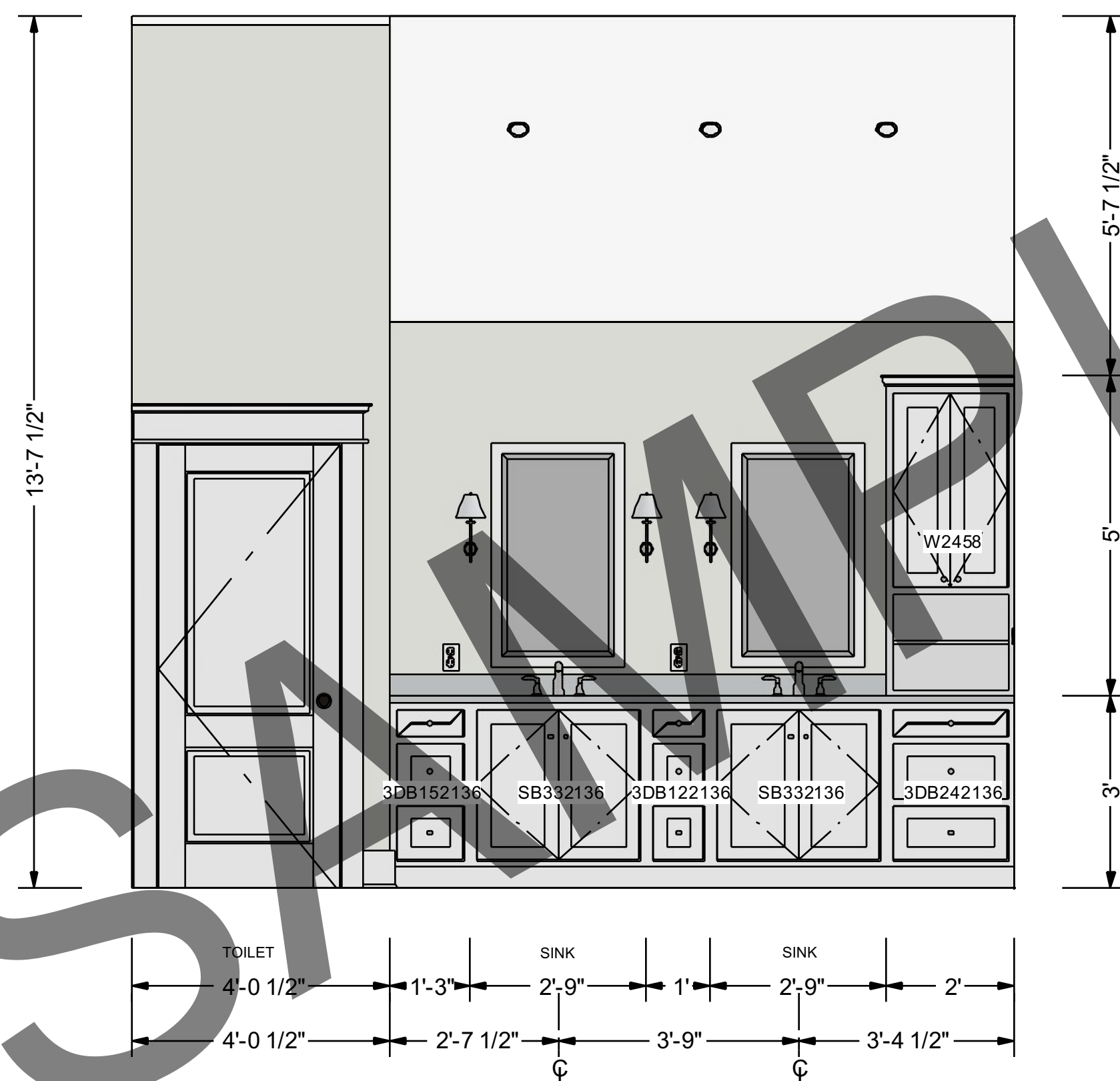
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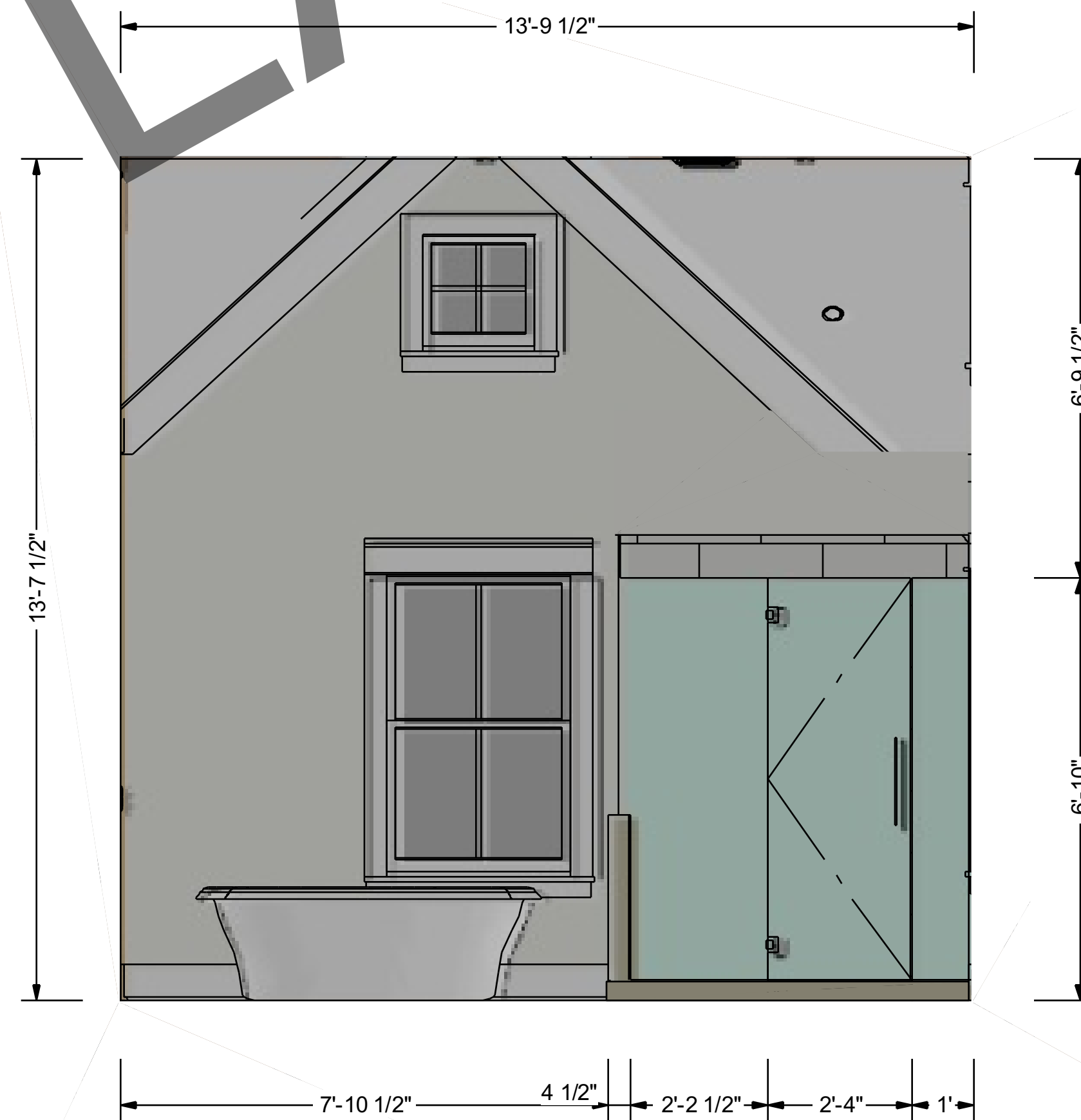
**X**  
A5.4 **LIBRARY ELEVATIONS**  
SCALE: 1/2" = 1'-0"



**Y**  
A5.4



**Z**  
A5.4 **MASTER BATH ELEVATIONS**  
SCALE: 1/2" = 1'-0"



**AA**  
A5.4

ARCHITECTURE FIRM  
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GMT Home Designs, Inc.  
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SHEET TITLE:  
**INTERIOR ELEVATIONS  
X THRU AA**

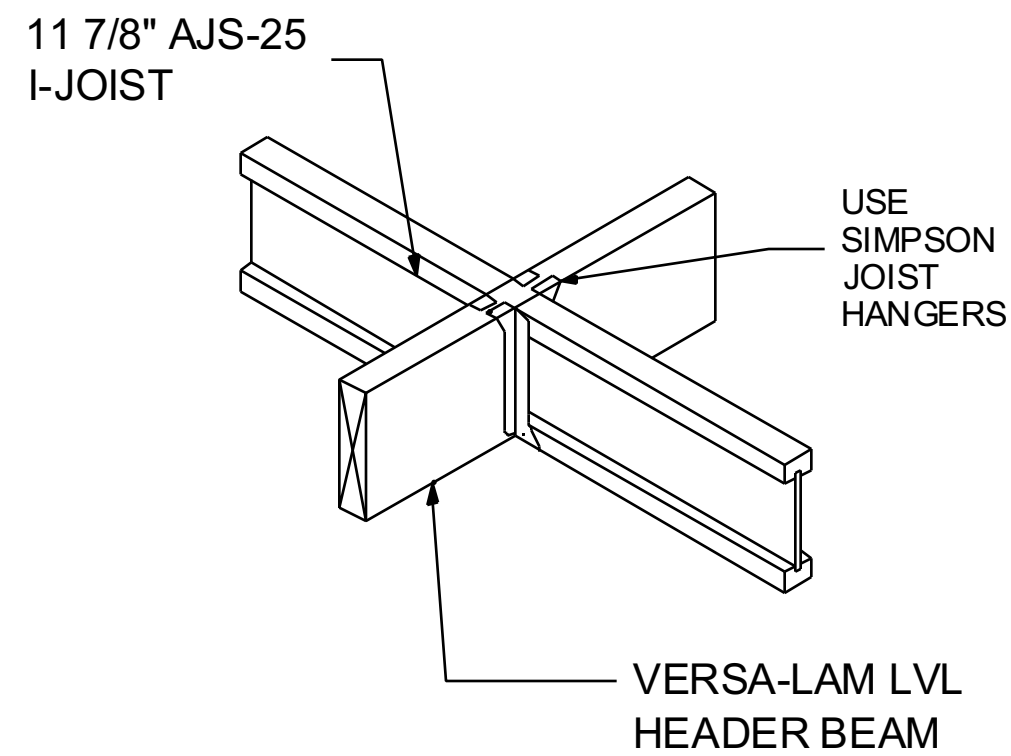
CLIENT AND PROJECT ADDRESS:

REV. DATE:  
**8/19/2020**

SHEET:

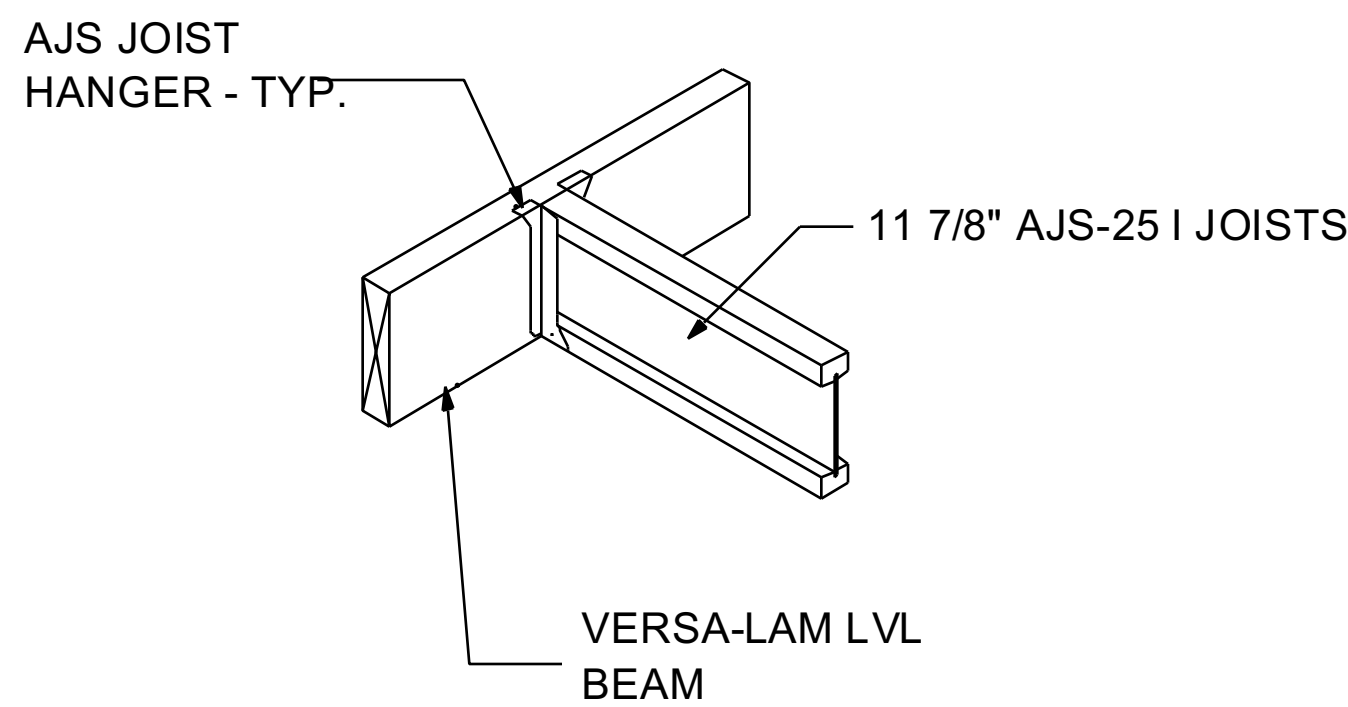
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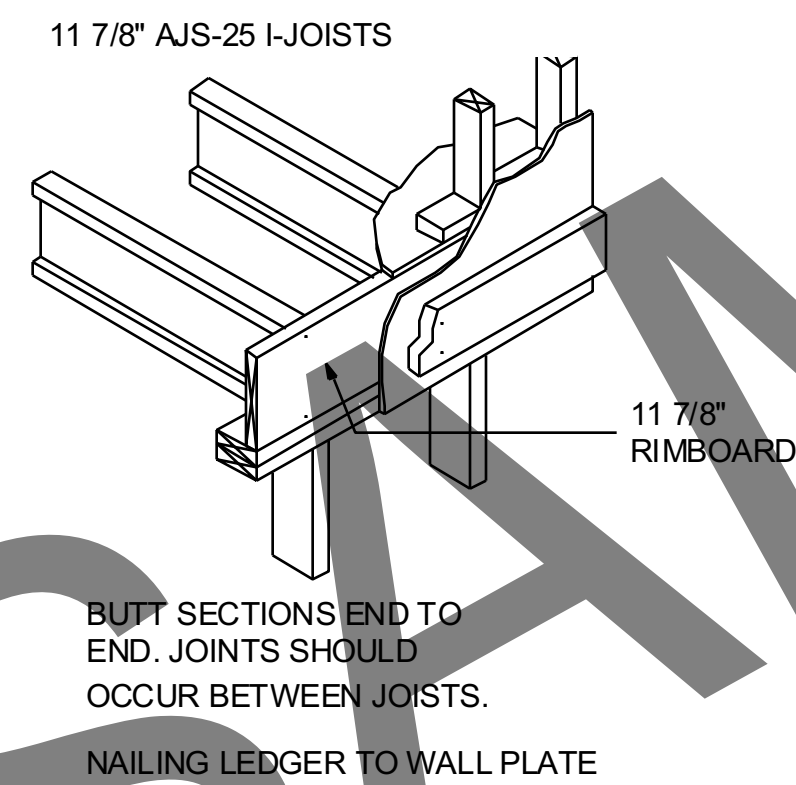
11 7/8" AJS-25" I JOISTS HANGING ON LVL - TYPICAL DETAIL

I-JOIST DETAIL HANGING ON LVL



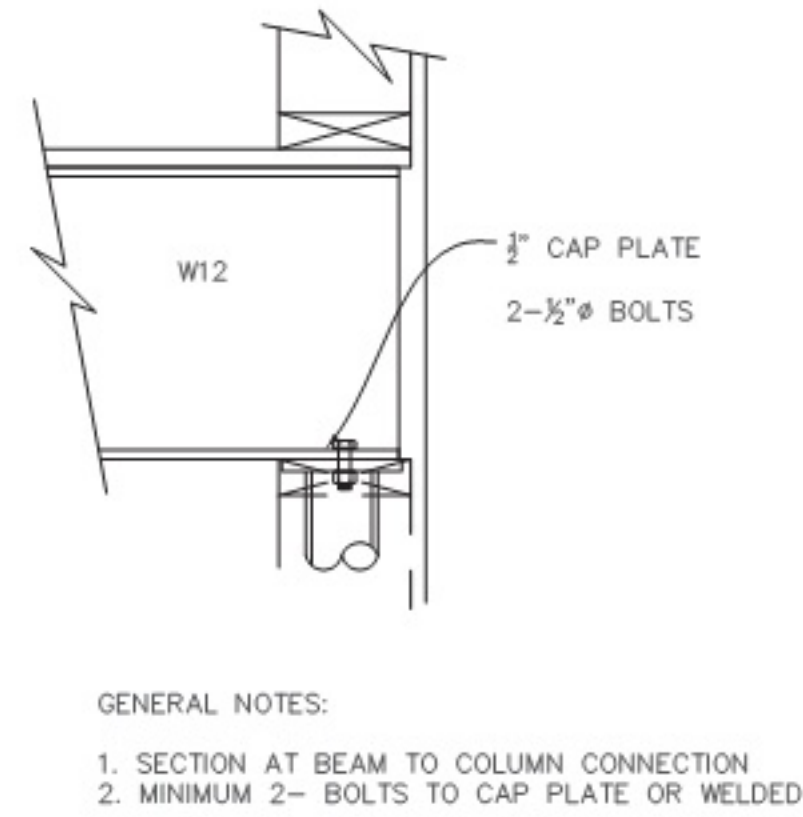
I-JOIST DETAIL AROUND STAIR OPENING

TOE NAIL TO WALL PLATE USING 16D AT 12" O.C. OR 10D @ 6" O.C. (USE 5/6 OF LATERAL NAIL CAPACITY.)

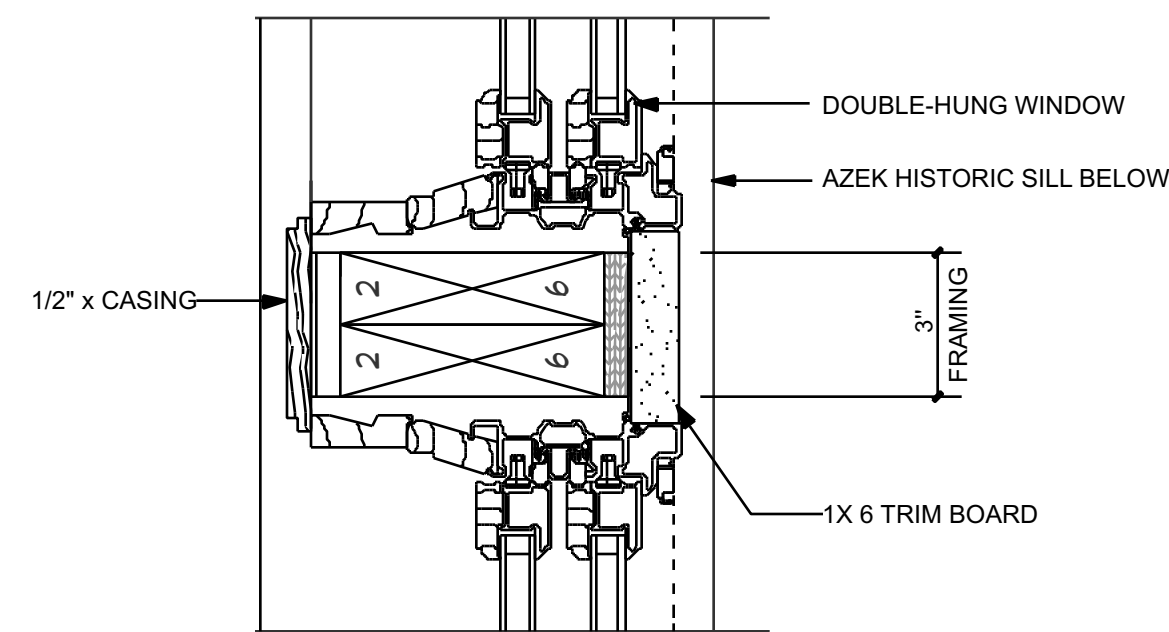


I-JOIST DETAIL AT RIMBOARD

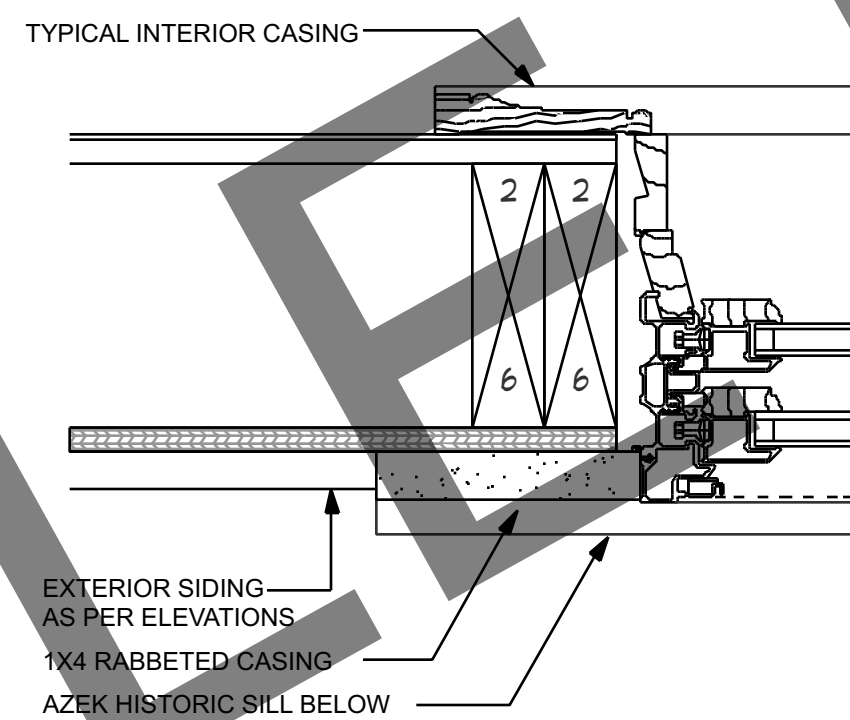
K TYPICAL I-JOIST DETAILS  
NOT TO SCALES



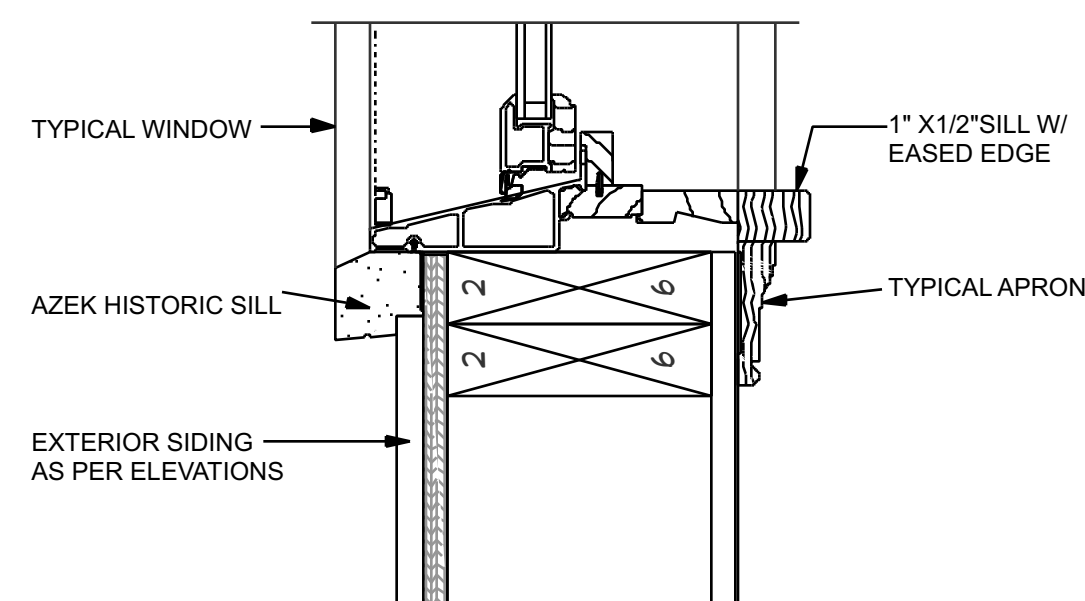
J STEEL BEAM TO COLUMN DETAIL  
SCALE: 1 1/2" = 1'-0"



I TYPICAL WINDOW MULLION  
SCALE: 3" = 1'-0"



H TYPICAL WINDOW JAMB  
SCALE: 3" = 1'-0"



G TYPICAL WINDOW SILL  
SCALE: 3" = 1'-0"

SPACING REQUIREMENTS

Fasteners should be staggered in a "V" pattern and spaced as follows:  
A. Minimum end distance = 3-3/4"  
B. Minimum edge distance = 1-3/4"  
C. On-center spacing = Per Table 1

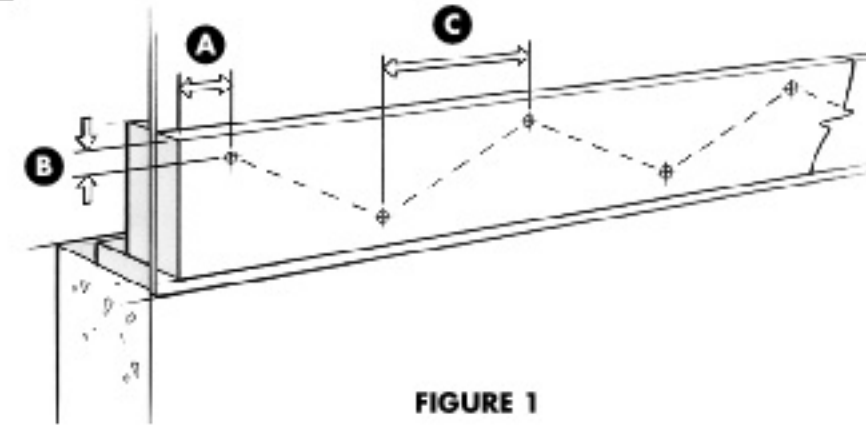
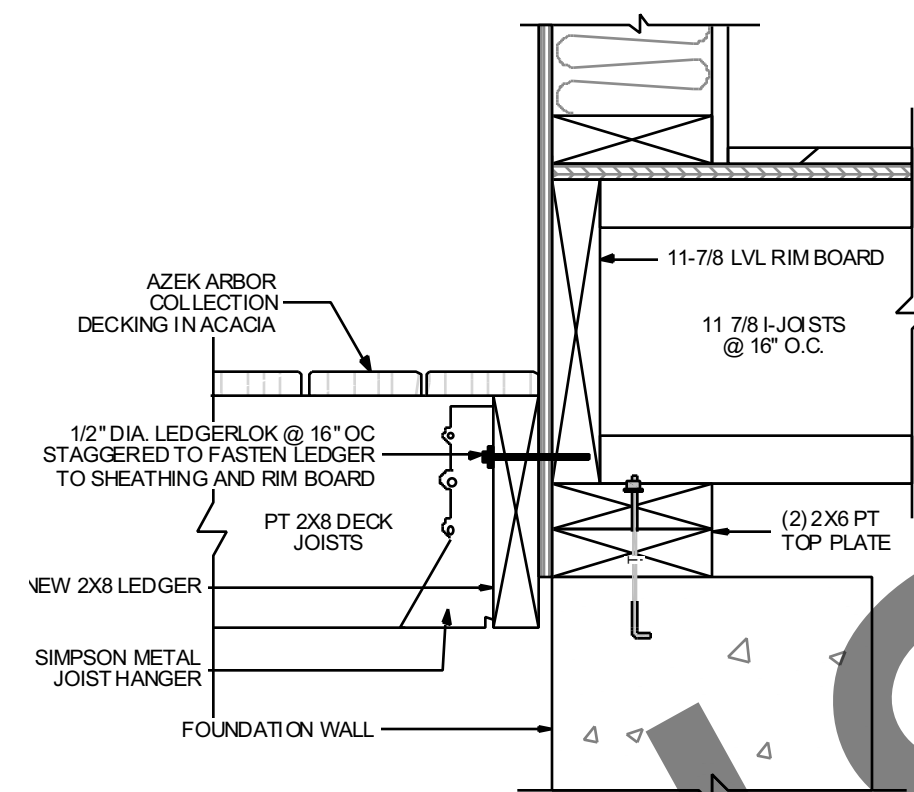
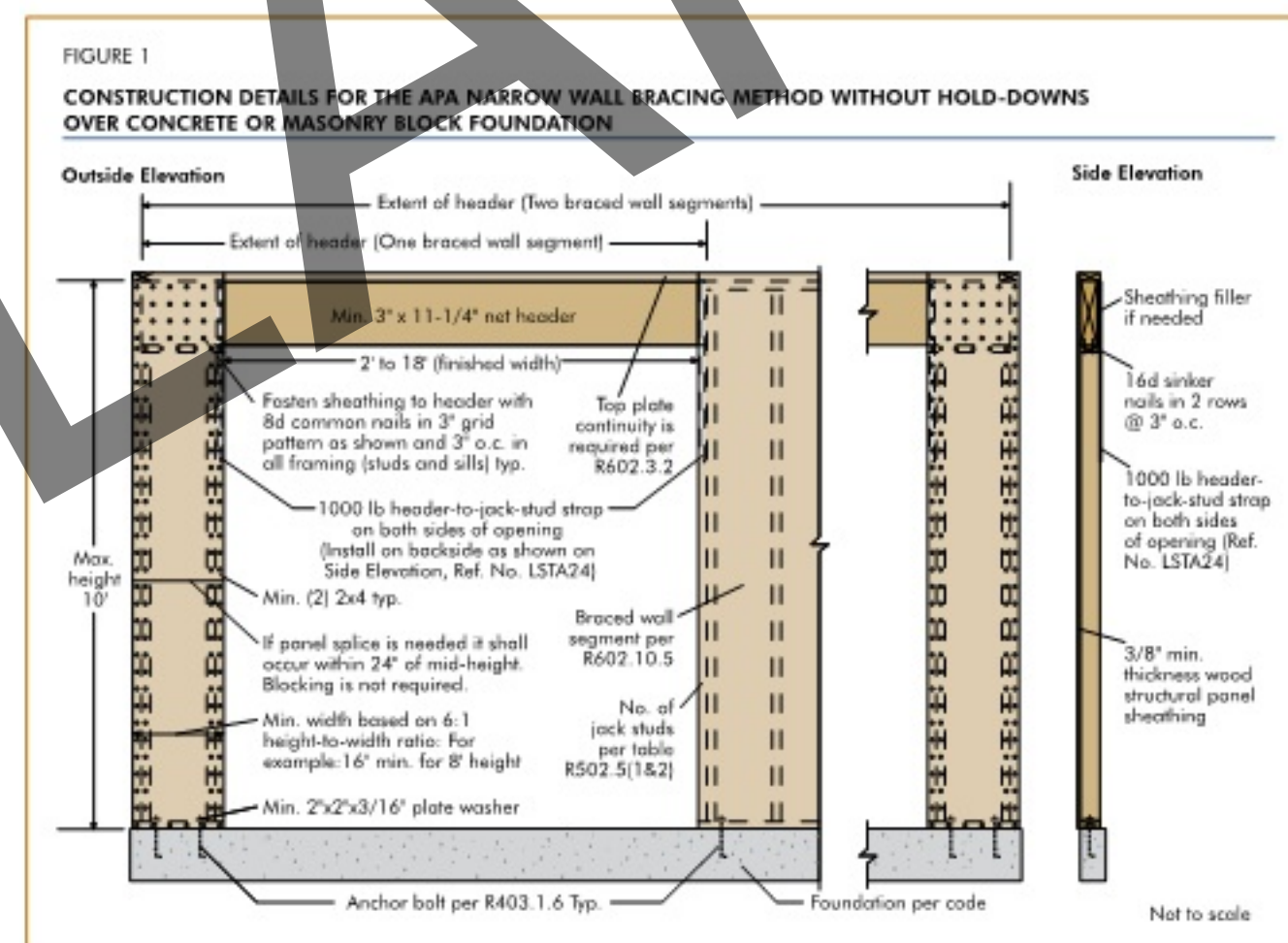


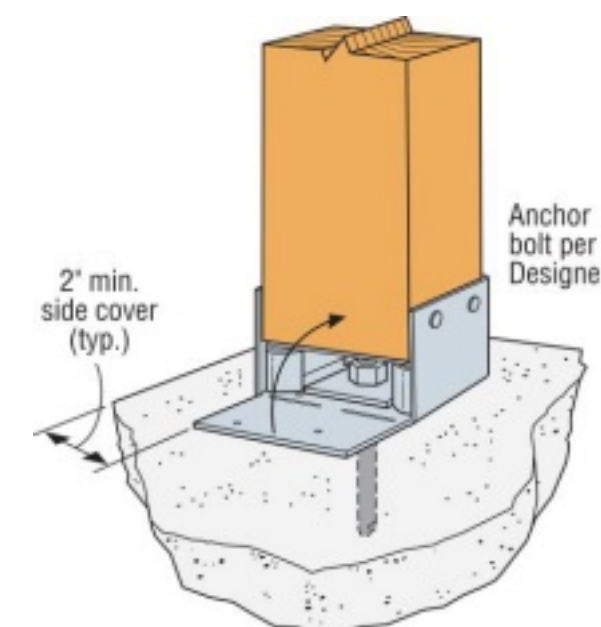
FIGURE 1



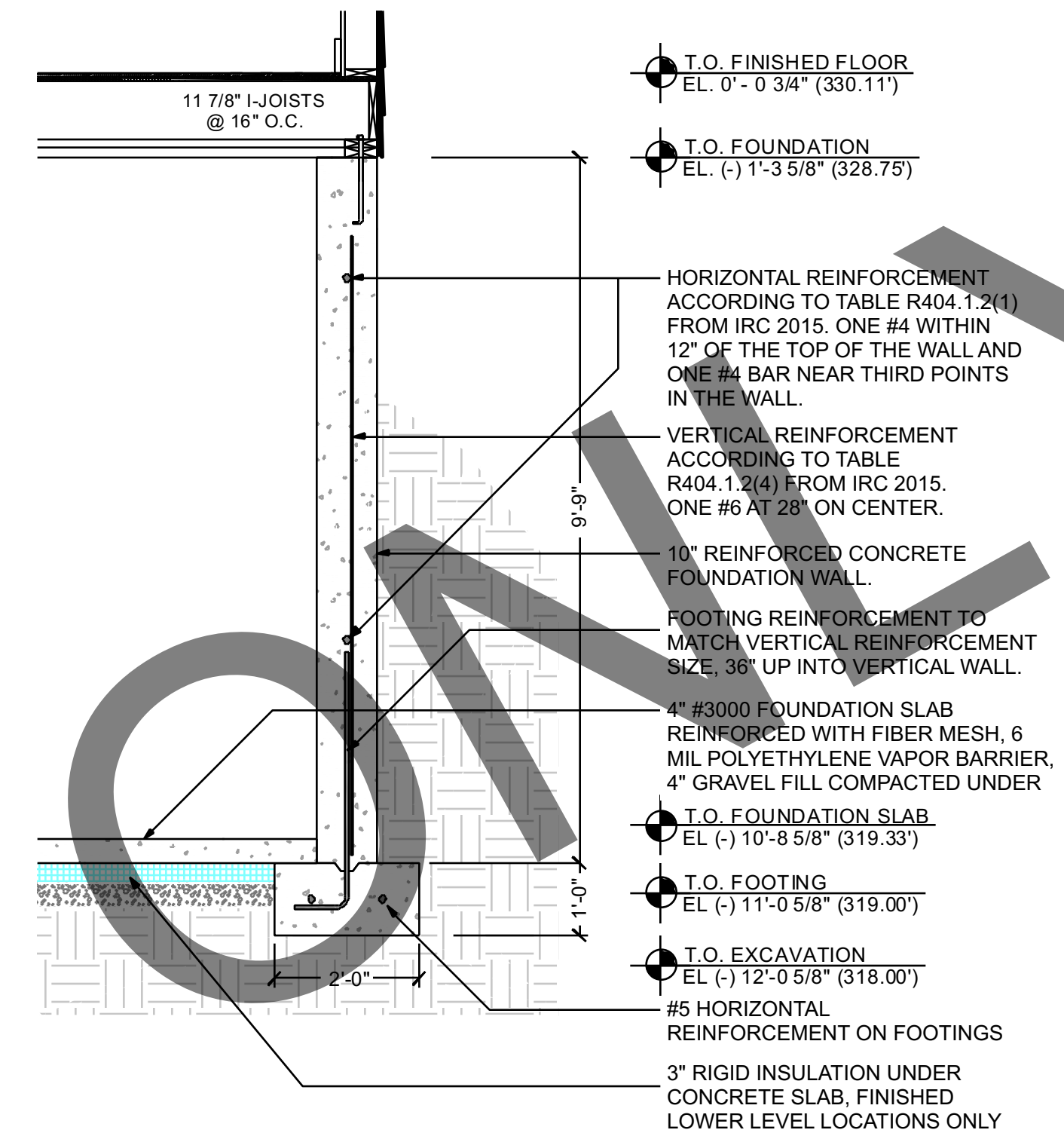
F LEDGER/LEDGERLOK DETAIL  
SCALE: 2" = 1'-0"



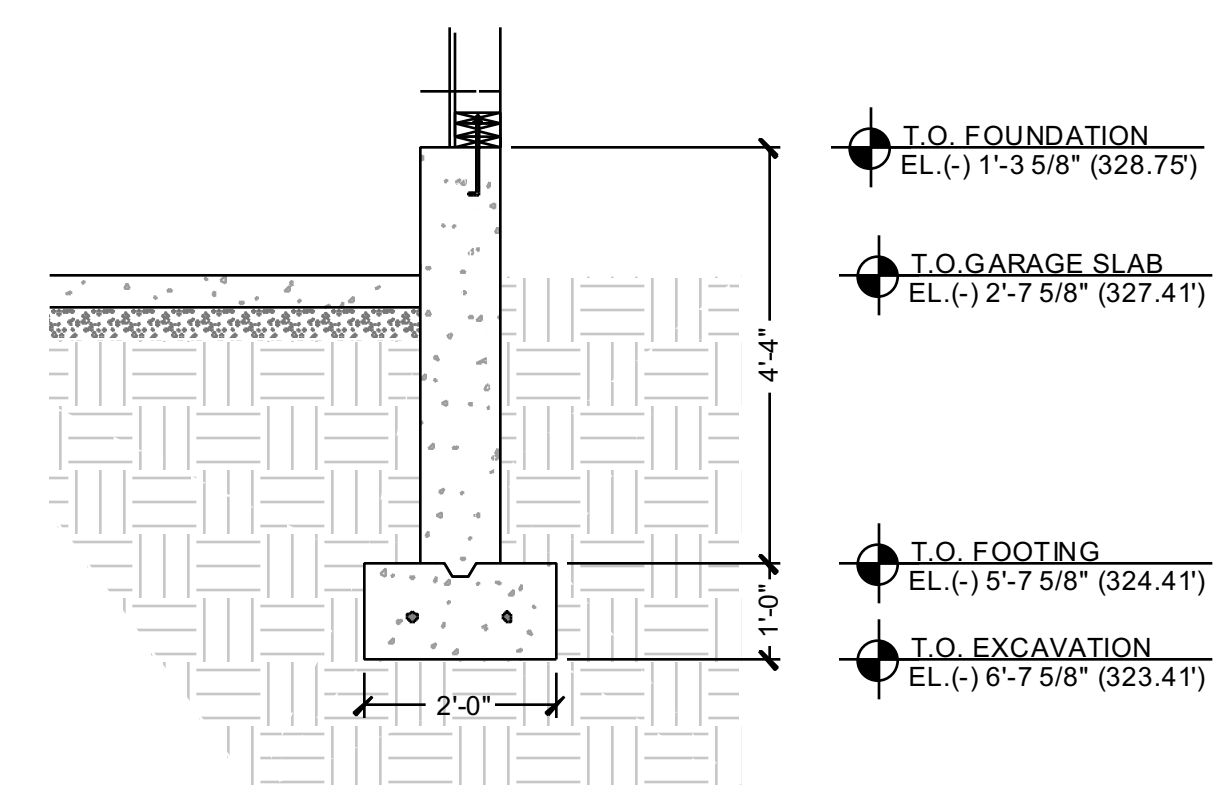
E NARROW WALL BRACING DETAIL  
NOT TO SCALE



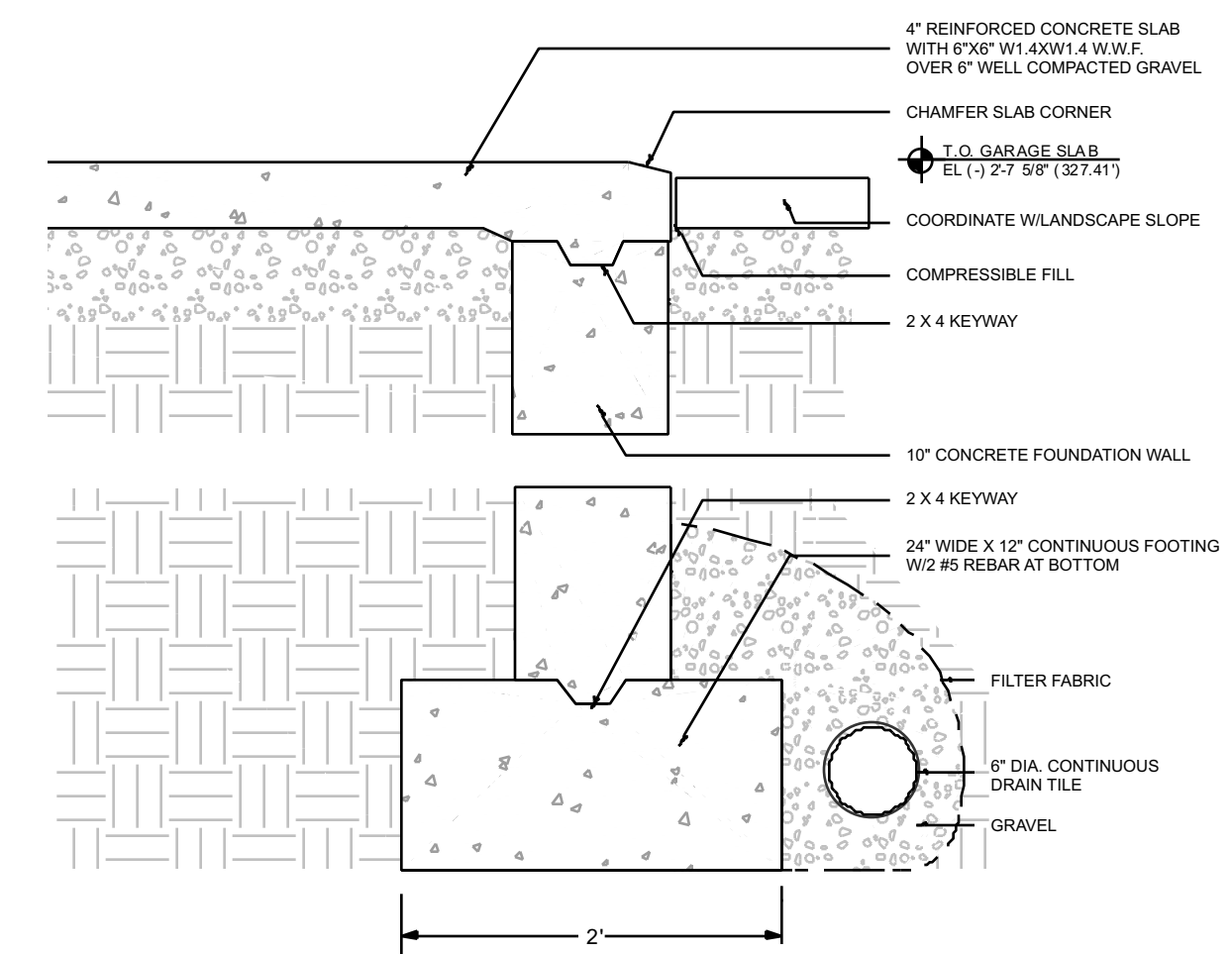
D CONCRETE TO POST DETAIL  
NOT TO SCALE



C FOUNDATION WALL DETAIL  
SCALE: 1/2" = 1'-0"



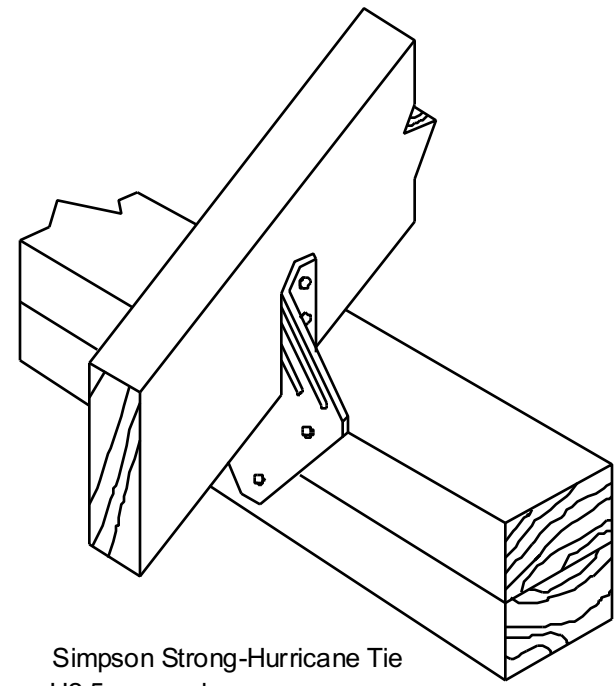
B GARAGE FOUNDATION DETAIL  
SCALE: 1/2" = 1'-0"



A GARAGE FOUNDATION DETAIL @ DOOR  
SCALE: 1" = 1'-0"

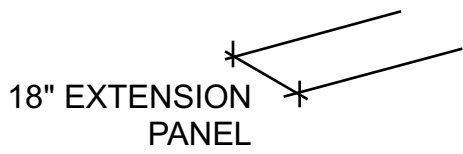
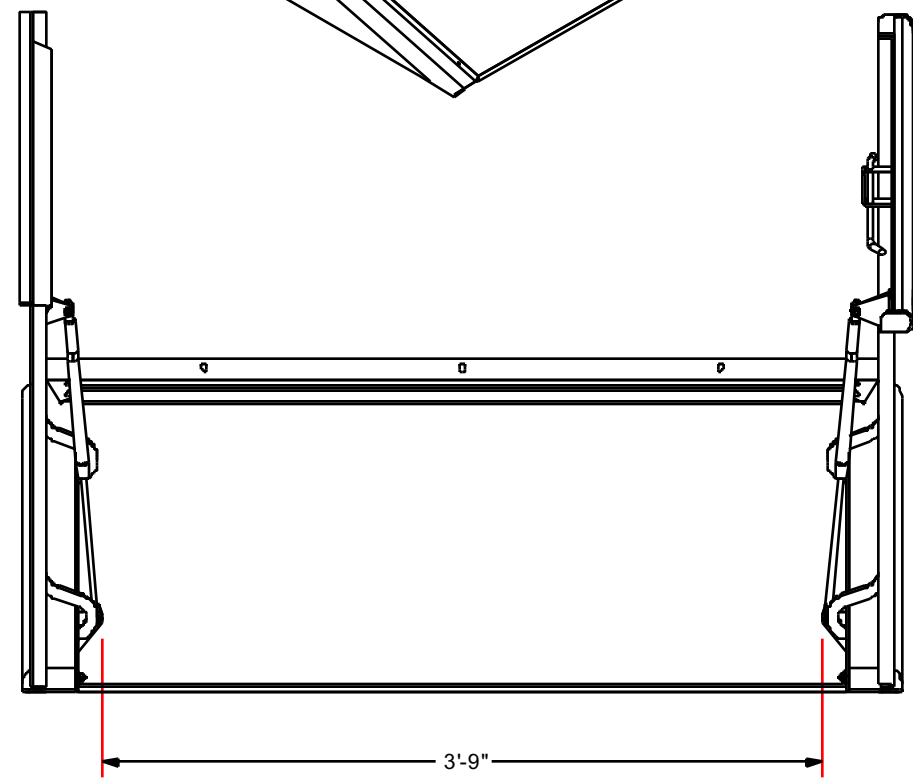
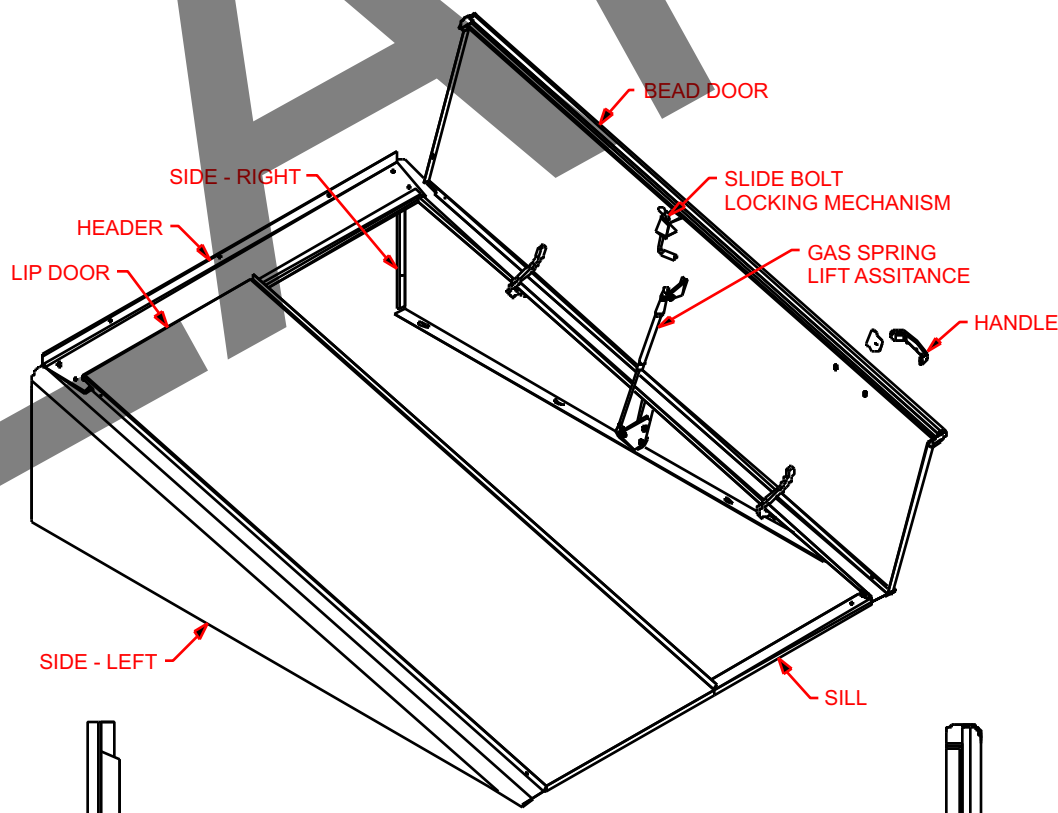


SAMPLE PLANS ONLY

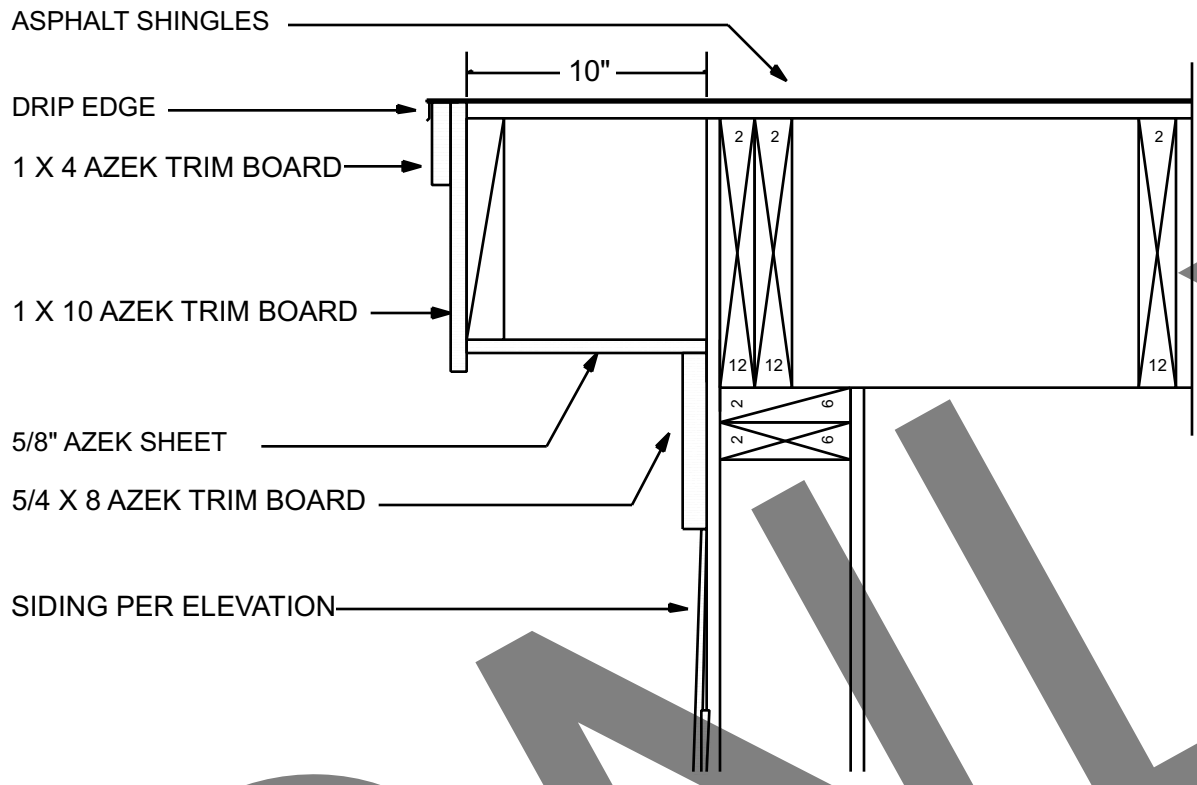


**HURRICANE TIE DETAIL**  
NOT TO SCALE

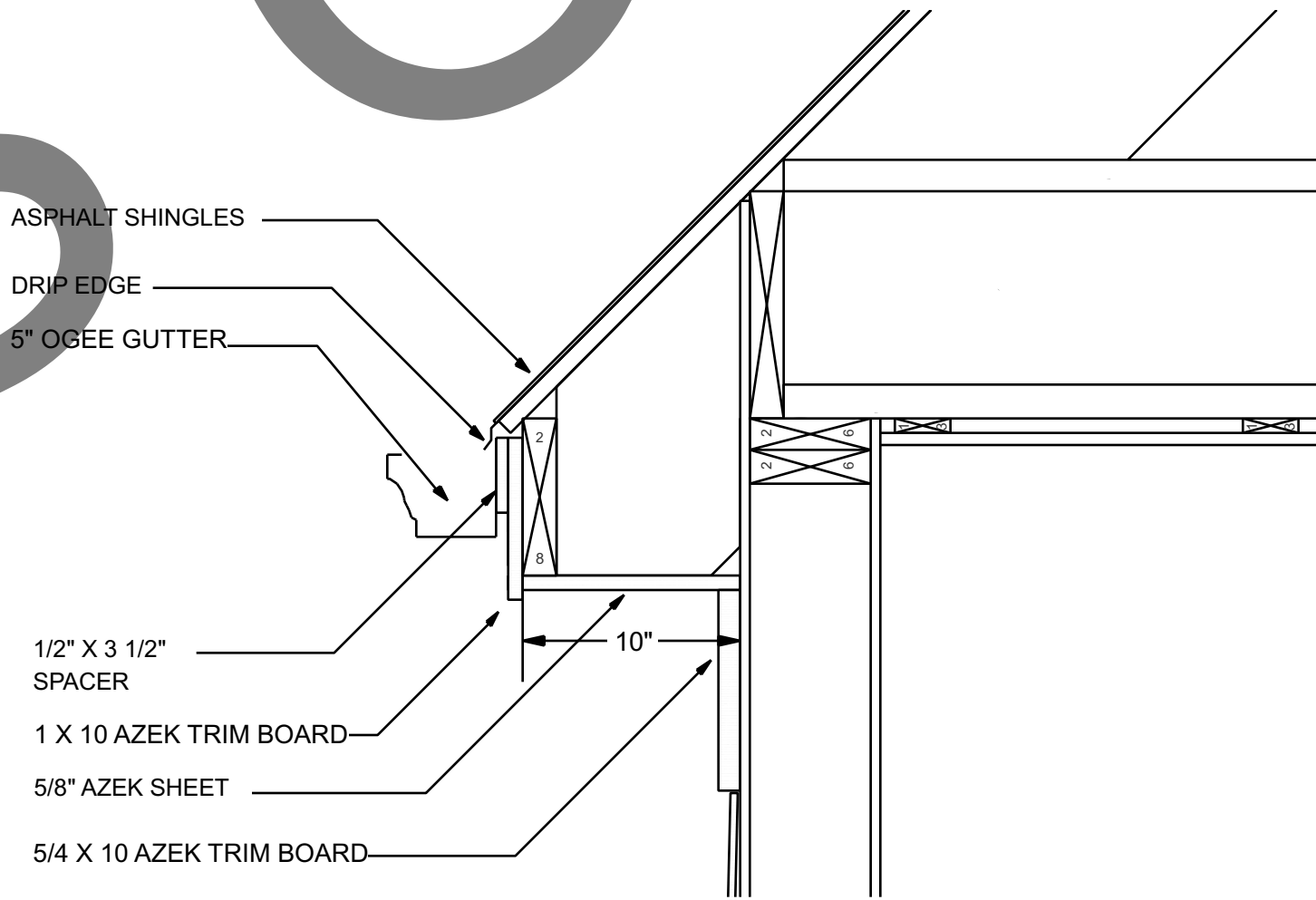
| SIZE | (WIDTH) | (LENGTH) | (HEIGHT) | (F.O. W) | (F.O. L) | (G.O.) |
|------|---------|----------|----------|----------|----------|--------|
| B    | 51"     | 64"      | 22"      | 44"      | 80"      | 31"    |
| C    | 55"     | 72"      | 18 1/2"  | 48"      | 81"      | 30"    |
| O    | 57"     | 58"      | 30"      | 40"      | 58"      | 37"    |
| SL   | 51"     | 63 1/4"  | 52"      | 54"      | 60"      | 31"    |



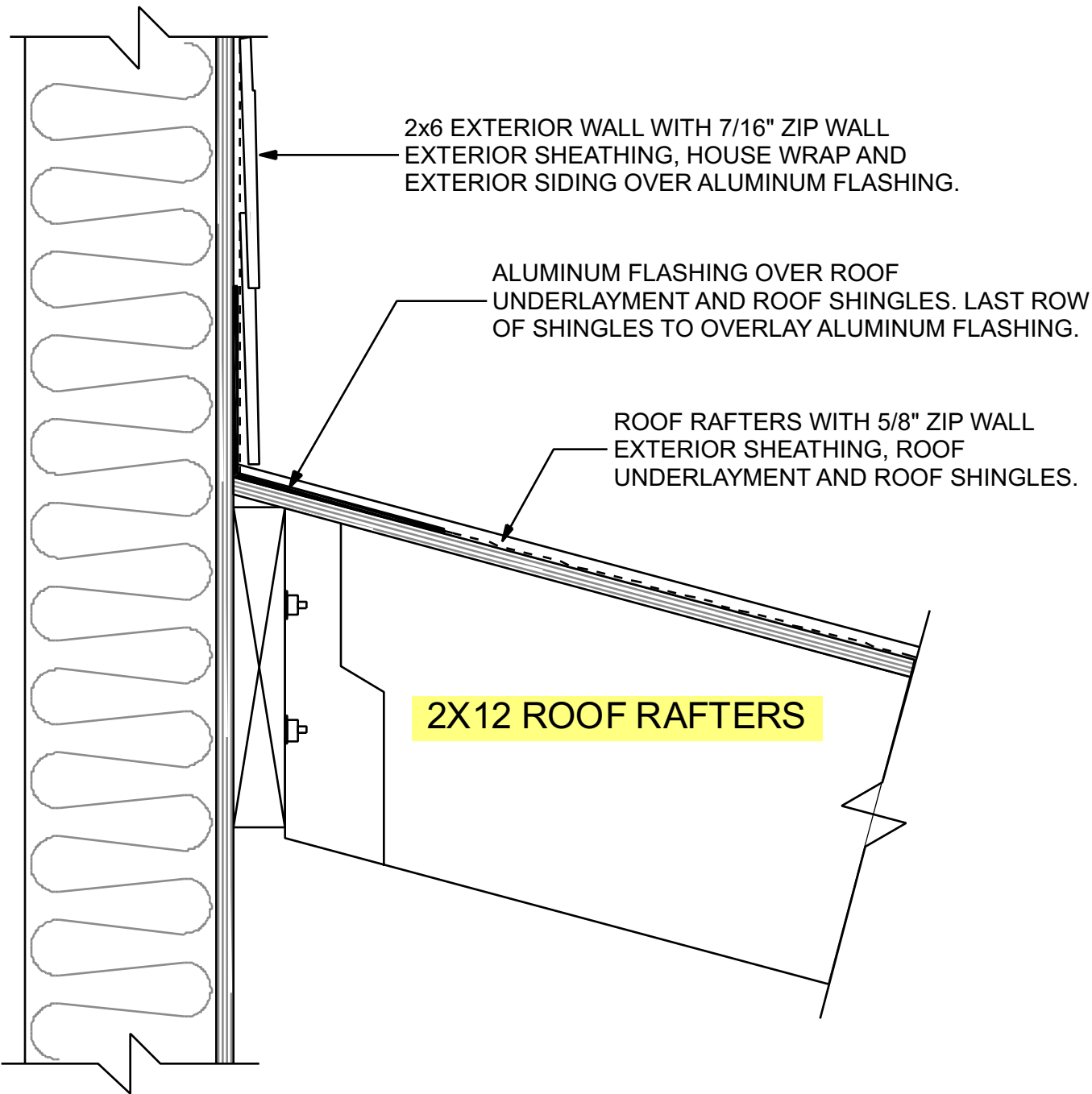
**BILCO DOOR AND EXTENSION**  
NOT TO SCALE



**TYPICAL RAKE DETAIL**  
SCALE: 1 1/2" = 1'-0"



**TYPICAL EAVE DETAIL**  
SCALE: 1 1/2" = 1'-0"



**ROOF TO WALL DETAIL**  
NOT TO SCALE

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60 Pleasant Street  
Suite 10 C  
Ashland, MA 01721  
(508) 881-7992  
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(978) 866-4249

SHEET TITLE:

**PROPOSED DETAILS  
L THRU P**

CLIENT AND PROJECT ADDRESS:

REV. DATE:

8/19/2020

SHEET:

**AD2**





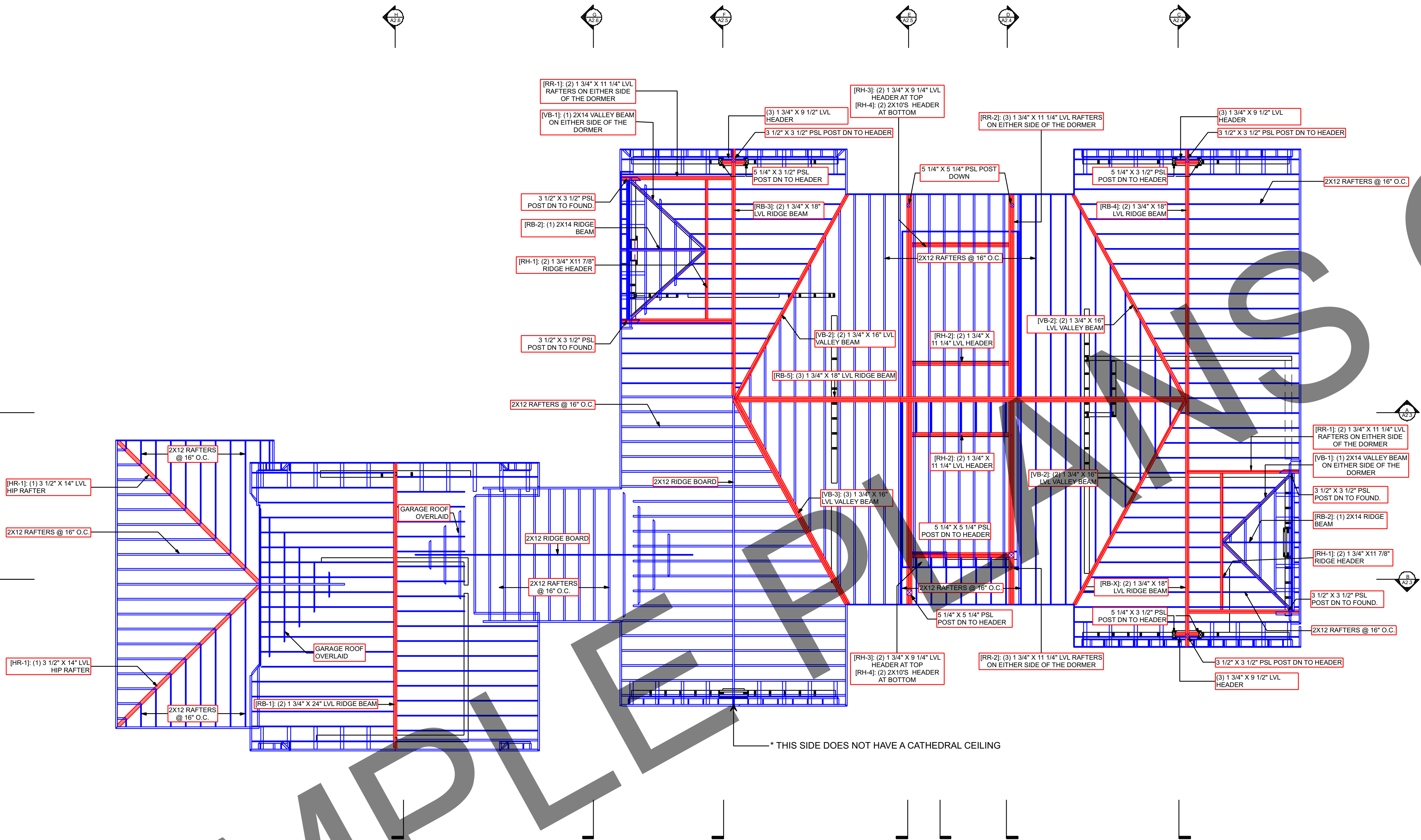














SPECIAL NOTE: RECOMMEND A WALK-THRU AFTER ROUGH FRAMING IS COMPLETE TO DETERMINE FINAL LOCATION OF OUTLETS, SWITCHES, AND LIGHTS WITH OWNERS, GENERAL CONTRACTOR REP AND ELECTRICIAN.

SECTION AM104 - SMOKE DETECTION

AM104.1 GENERAL.  
SMOKE DETECTORS SHALL BE INSTALLED IN DWELLING UNITS USED FOR HOME DAY-CARE OPERATIONS. DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED MANUFACTURER'S INSTRUCTIONS. IF THE CURRENT SMOKE DETECTION SYSTEM IN THE DWELLING IS NOT IN COMPLIANCE WITH THE CURRENTLY ADOPTED CODE FOR SMOKE DETECTION, IT SHALL BE UPGRADED TO MEET THE CURRENTLY ADOPTED CODE REQUIREMENTS AND SECTION AM103 BEFORE DAYCARE OPERATIONS COMMENCE.

AM104.2 POWER SOURCE.  
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A DETECTOR SHALL BE LOCATED IN EACH BEDROOM AND ANY ROOM THAT IS TO BE USED AS A SLEEPING ROOM AND CENTRALLY LOCATED IN THE CORRIDOR, HALLWAY OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY, AND IN DWELLINGS WITH BASEMENTS, A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT. IN DWELLING UNITS WHERE A STORY OR BASEMENT IS SPLIT INTO TWO OR MORE LEVELS, THE SMOKE DETECTOR SHALL BE INSTALLED ON THE UPPER LEVEL, EXCEPT THAT WHEN THE LOWER LEVEL CONTAINS A SLEEPING AREA, A DETECTOR SHALL BE INSTALLED ON EACH LEVEL. WHEN SLEEPING ROOMS ARE ON THE UPPER LEVEL, THE DETECTOR SHALL BE PLACED AT THE CEILING OF THE UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS OR SLEEPING AREAS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (610 MM) OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.

VENTILATION NOTES:

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

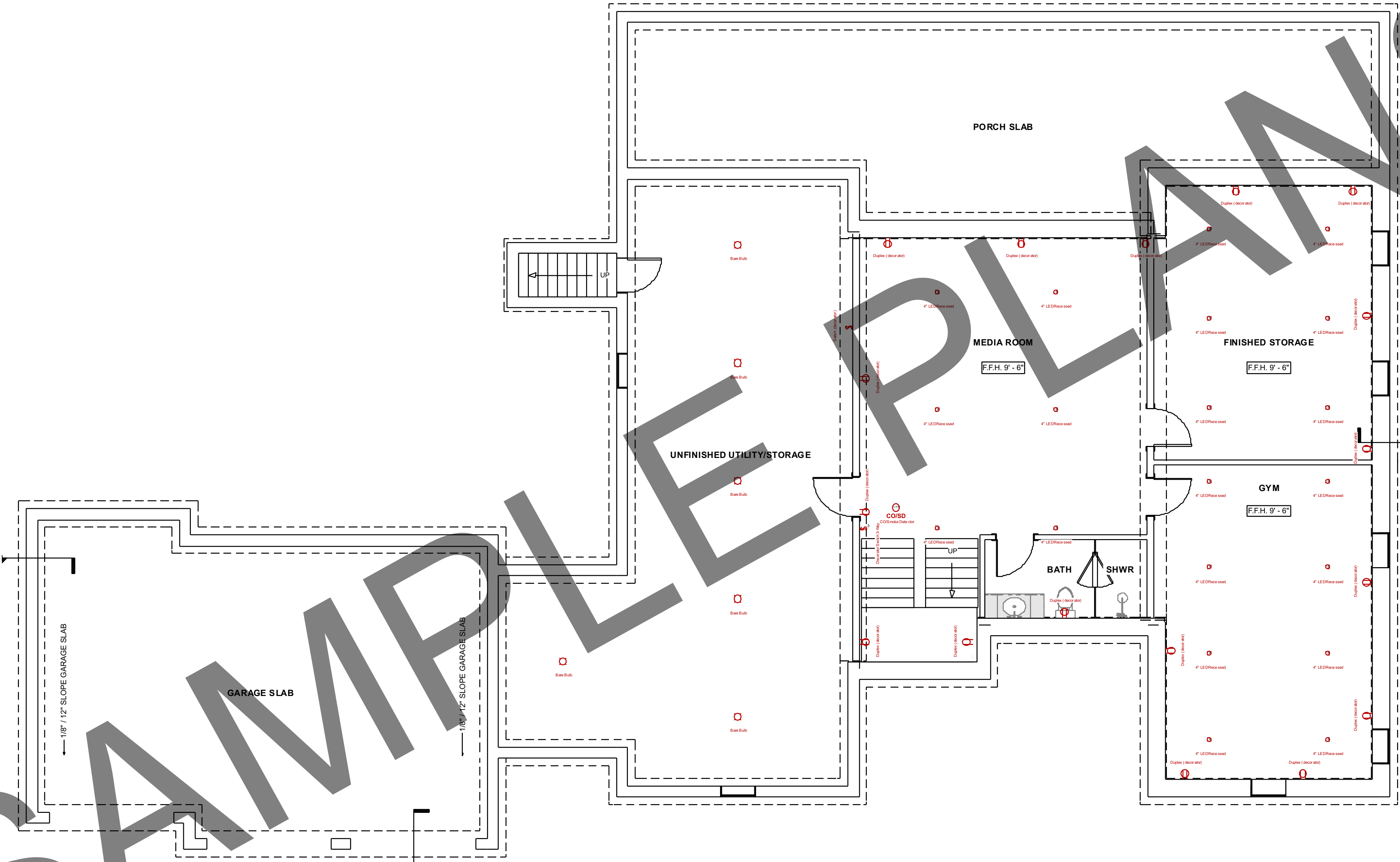
SECTION R315 - CARBON MONOXIDE ALARMS

R315.1 CARBON MONOXIDE ALARMS.  
FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

R315.2 WHERE REQUIRED IN EXISTING DWELLINGS.  
WHERE WORK REQUIRING A PERMIT OCCURS IN EXISTING DWELLINGS THAT HAVE ATTACHED GARAGES OR IN EXISTING DWELLINGS WITHIN WHICH FUEL-FIRED APPLIANCES EXIST, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R315.1.

R315.3 ALARM REQUIREMENTS.  
SINGLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH THIS CODE AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

| ELECTRICAL - DATA - AUDIO LEGEND |   |
|----------------------------------|---|
| SYMBOL                           | DESCRIPTION   |
|                                  | Ceiling Fan   |
|                                  | Ventilation Fans: Ceiling Mounted, Wall Mounted                                   |
|                                  | Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage |
|                                  | Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce                           |
|                                  | Chandelier Light Fixture  |
|                                  | Fluorescent Light Fixture   |
|                                  | 240V Receptacle   |
|                                  | 110V Receptacles: Duplex, Weather Proof, GFCI                                     |
|                                  | Switches: Single Pole, Weather Proof, 3-Way, 4-Way                                |
|                                  | Switches: Dimmer, Timer   |
|                                  | Audio Video: Control Panel, Switch  |
|                                  | Speakers: Ceiling Mounted, Wall Mounted   |
|                                  | Wall Jacks: CAT5, CAT5 + TV, TV/Cable   |
|                                  | Telephone Jack  |
|                                  | Intercom  |
|                                  | Thermostat  |
|                                  | Door Chime, Door Bell Button  |
|                                  | Smoke Detectors: Ceiling Mounted, Wall Mounted                                    |
|                                  | Electrical Breaker Panel  |



A  
E1  
PROPOSED LOWER LEVEL ELECTRICAL PLAN  
SCALE: 3/16" = 1'-0"

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SHEET TITLE:  
PROPOSED LOWER LEVEL  
ELECTRICAL PLAN

CLIENT AND PROJECT ADDRESS:

REV. DATE:  
8/19/2020

SHEET:

E1



SPECIAL NOTE: RECOMMEND A WALK-THRU AFTER ROUGH FRAMING IS COMPLETE TO DETERMINE FINAL LOCATION OF OUTLETS, SWITCHES, AND LIGHTS WITH OWNERS, GENERAL CONTRACTOR REP AND ELECTRICIAN.

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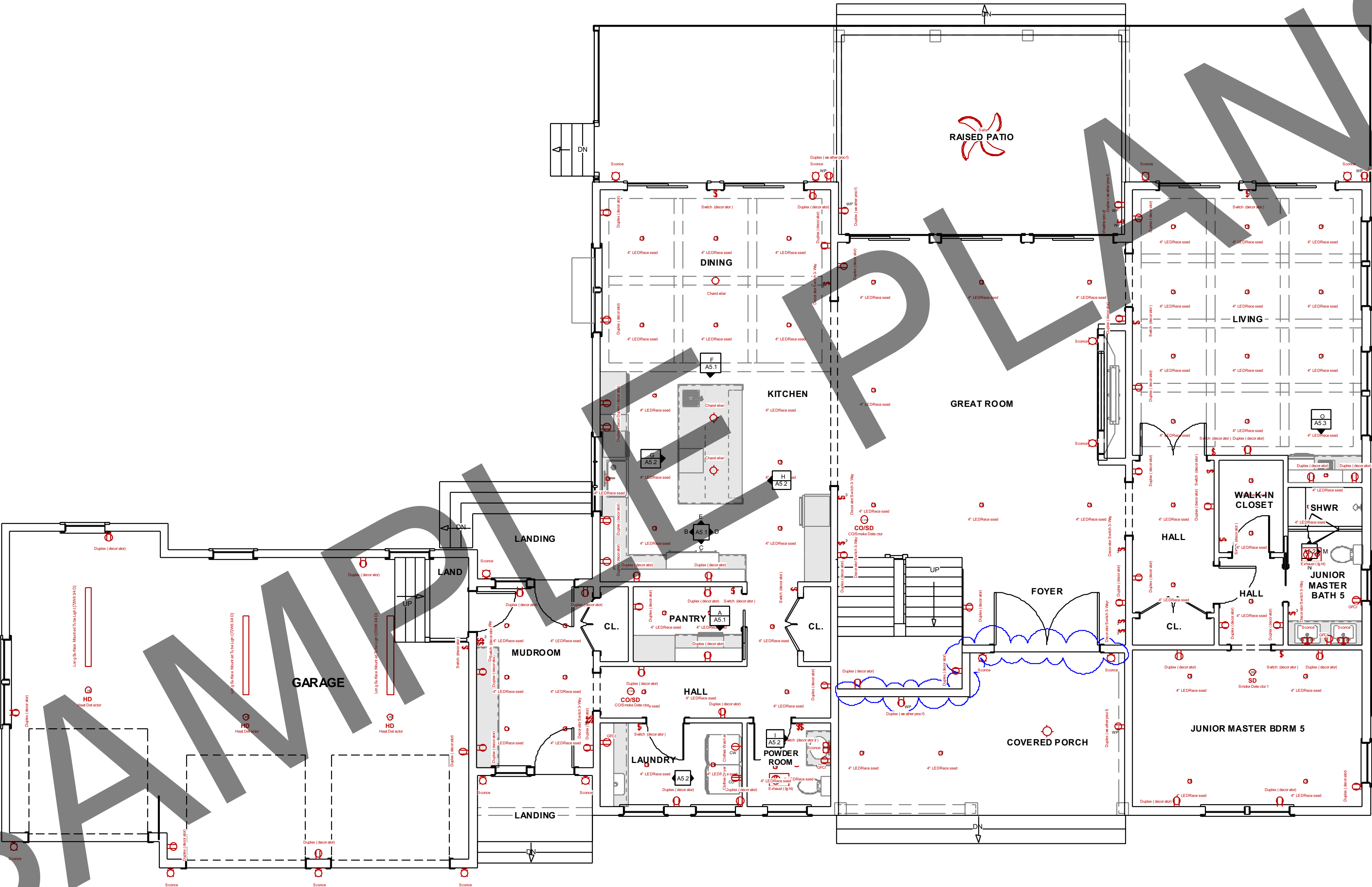
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| ELECTRICAL - DATA - AUDIO LEGEND |   |
|----------------------------------|---|
| SYMBOL                           | DESCRIPTION   |
|                                  | Ceiling Fan   |
|                                  | Ventilation Fans: Ceiling Mounted, Wall Mounted                                   |
|                                  | Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage |
|                                  | Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce                           |
|                                  | Chandelier Light Fixture  |
|                                  | Fluorescent Light Fixture   |
|                                  | 240V Receptacle   |
|                                  | 110V Receptacles: Duplex, Weather Proof, GFCI                                     |
|                                  | Switches: Single Pole, Weather Proof, 3-Way, 4-Way                                |
|                                  | Switches: Dimmer, Timer   |
|                                  | Audio Video: Control Panel, Switch  |
|                                  | Speakers: Ceiling Mounted, Wall Mounted   |
|                                  | Wall Jacks: CAT5, CAT5 + TV, TV/Cable   |
|                                  | Telephone Jack  |
|                                  | Intercom  |
|                                  | Thermostat  |
|                                  | Door Chime, Door Bell Button  |
|                                  | Smoke Detectors: Ceiling Mounted, Wall Mounted                                    |
|                                  | Electrical Breaker Panel  |



A  
E2  
PROPOSED FIRST FLOOR ELECTRICAL PLAN  
SCALE: 3/16" = 1'-0"

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PROPOSED FIRST FLOOR  
ELECTRICAL PLAN

CLIENT AND PROJECT ADDRESS:

REV. DATE:  
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SHEET:

E2



**SPECIAL NOTE: RECOMMEND A WALK-THRU AFTER ROUGH FRAMING IS COMPLETE TO DETERMINE FINAL LOCATION OF OUTLETS, SWITCHES, AND LIGHTS WITH OWNERS, GENERAL CONTRACTOR REP AND ELECTRICIAN.**

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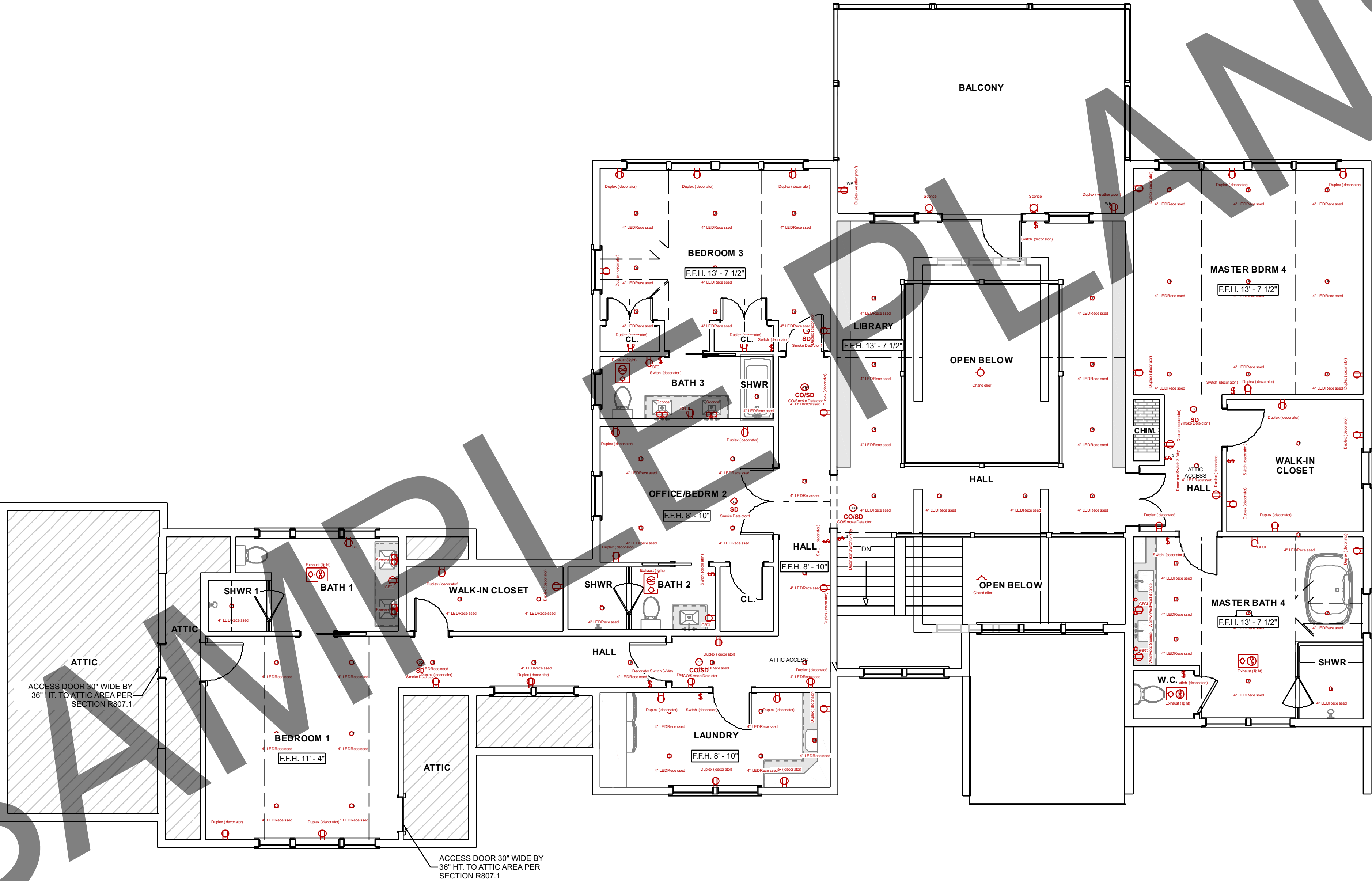
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|                                  | 240V Receptacle   |
|                                  | 110V Receptacles: Duplex, Weather Proof, GFCI                                     |
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|                                  | Switches: Dimmer, Timer   |
|                                  | Audio Video: Control Panel, Switch  |
|                                  | Speakers: Ceiling Mounted, Wall Mounted   |
|                                  | Wall Jacks: CAT5, CAT5 + TV, TV/Cable   |
|                                  | Telephone Jack  |
|                                  | Intercom  |
|                                  | Thermostat  |
|                                  | Door Chime, Door Bell Button  |
|                                  | Smoke Detectors: Ceiling Mounted, Wall Mounted                                    |
|                                  | Electrical Breaker Panel  |



**PROPOSED SECOND FLOOR ELECTRICAL PLAN**  
SCALE: 3/16" = 1'-0"

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SHEET TITLE:  
**PROPOSED SECOND FLOOR ELECTRICAL PLAN**

CLIENT AND PROJECT ADDRESS:

REV. DATE:  
**8/19/2020**

SHEET:

**E3**